

**ARTICLE 1**

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**Table 1.07-1: Translation to New Zoning Districts**

<b>TABLE 1.07-1: TRANSLATION TO NEW ZONING DISTRICTS</b>	
<del>CURRENT</del> <b>PREVIOUS</b> ZONING DISTRICT NAME	NEW ZONING DISTRICT NAME
<b>RURAL ZONING DISTRICTS</b>	
No Previous Zoning District	A – Agricultural District
R – Rural District E – Estate District	RD-5 – Rural Development District 5
	RP-5 – Rural Preservation District 5
	MGA-5 – Municipal Growth Area District 5
CC – Crossroads Center District	V- Village District
	CGV – College Grove Village District
	LFV – Leipers Fork Village District
	<del>Future GV – Grassland Village District and</del>
	Future TV – Triune Village District
	H – Hamlet District
	MGA-H – Municipal Growth Area-Hamlet District
<b>RESIDENTIAL ZONING DISTRICTS</b>	
SE – Suburban Estate District	RD-I – Rural Development District I
	RP-I – Rural Preservation District I
	SIC – Suburban Infill and Conservation
	CGV – College Grove Village District
	<b>GVC1 – Grassland Village District Character 1</b>
	<b>GVC3 – Grassland Village District Character 3</b>
S – Suburban District	V – Village District
	<b>GVC2 – Grassland Village District Character 2</b>
	<b>GVC4 – Grassland Village District Character 4</b>
	<del>Future GV – Grassland Village District</del>
	RD-I – Rural Development District I
	MGA-I – Municipal Growth Area District I
	MGA-H – Municipal Growth Area-Hamlet District
No Previous Zoning District	MGA-I – Municipal Growth Area District I
	MGA-5 – Municipal Growth Area District 5
NC – Neighborhood Conservation District	NC – Neighborhood Conservation District
	<b>GVC3 – Grassland Village District Character 3</b>
	<b>GVC4 – Grassland Village District Character 4</b>
NCT – Neighborhood Conservation Trailer District	NCMH – Neighborhood Conservation Manufactured Housing District
MH – Mobile Home District	[Deleted Zoning District]
RS – Restricted Single-Family Floating District	[Deleted Zoning District]
U – Urban Floating District	[Deleted Zoning District]
IC – Interchange Overlay District	840C – 840 Center District
<b>OVERLAY ZONING DISTRICTS</b>	
AP – Airport Overlay District	AP – Airport Overlay District
M – Mining Overlay District	[Deleted Zoning District]

**ARTICLE 10**

**Table 10.01-1: Zoning Districts Established**

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<b>TABLE 10.01-1: ZONING DISTRICTS ESTABLISHED</b>	
<b>ABBREVIATION</b>	<b>NEW ZONING DISTRICT NAME</b>
	<b>BASE ZONING DISTRICT</b>
A	Voluntary Agricultural District
RP-5	Rural Preservation District 5
RD-5	Rural Development District 5
RP-1	Rural Preservation District 1
RD-1	Rural Development District 1
SIC	Suburban Infill and Conservation District
MGA-1	Municipal Growth Area District 1
MGA-5	Municipal Growth Area District 5
MGA-H	Municipal Growth Area-Hamlet District
H	Hamlet District
V	Village District
CGV	College Grove Village Distract
<del>GV</del>	<del>Grassland Village District</del>
<b>GVC1</b>	<b>Grassland Village Character 1 District</b>
<b>GVC2</b>	<b>Grassland Village Character 2 District</b>
<b>GVC3</b>	<b>Grassland Village Character 3 District</b>
<b>GVC4</b>	<b>Grassland Village Character 4 District</b>
LFV	Leipers Fork Village District
TV	Triune Village District
NC	Neighborhood Conservation District
NCMH	Neighborhood Conservation Manufactured Housing District
840C	840 Center District
	<b>OVERLAY ZONING DISTRICT</b>
AP	Airport Overlay District

**Section 10.02**

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(...)

**(Q) Grassland Village District Character 1 (GVC1)**

**(1) Purpose and Intent**

The purpose of the Grassland Village District Character 1 (GVC1) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help insure that future development is consistent with the recommendations for Character Area 1 of the Plan.

**(2) Dimensional Standards**

- a) Table 10.02-17 establishes the dimensional standards for the GVC1 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

<b>Table 10.02-17: Dimensional Standards for Grassland Village Character 1 (GVC1)</b>			
<b>Dimensional Standards</b>	<b>Residential Structures</b>		<b>Nonresidential Structures</b>
Minimum Lot Area	1 acre		1 acre
Max. Gross Res. Density	1 unit/acre		N/A
Minimum Lot Width	Traditional Subdivisions 1 – 2.99 acres	130 feet	130 feet
	Traditional Subdivisions 3 – 4.99 acres	160 feet	
	Traditional Subdivisions 5 acres or greater	200 feet	
Front Yard Setback	Traditional Subdivisions 1 – 4.99 acres	60 feet	60 feet
	Traditional Subdivisions 5 acres or greater	100 feet	
Side Yard Setback	20 feet		35 feet
Rear Yard Setback	60 feet		60 feet
Maximum Building Size	N/A		N/A
Maximum Height	2 stories		2 stories

**(3) Design Standards**

**a) Parking and Access**

A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19: Road Capacity Adjustment, and in accordance with the County’s Traffic Study Guidelines.

**b) Open Space**

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

**(R) Grassland Village District Character 2 (GVC2)**

**(1) Purpose and Intent**

The purpose of the Grassland Village District Character 2 (GVC2) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help ensure that future development is consistent with the Character Area 2 recommendations outlined in the Plan.

**(2) Dimensional Standards**

- a) Table 10.02-18 establishes the dimensional standards for the GVC2 district.

- b)** Additional standards related to accessory uses are located in Section 11.04, Accessory Uses and Structures.

<b>Table 10.02-18: Dimensional Standards for Grassland Village Character 2 (GVC2)</b>					
Dimensional Standards		Parcels Abutting Hillsboro Road		All Other Parcels	
		Residential	Nonresidential	Residential	Nonresidential
Minimum Lot Area		1 acre		20,000 sq ft	
Max. Gross Res. Density	Single Family Dwellings	1 unit/acre		2 units/acre	
	Multi-Family Dwellings	Not Permitted			
Minimum Lot Width	Traditional Subdivisions 1 – 2.99 acres	150 feet		60 feet	60 feet
	Traditional Subdivisions 3 – 4.99 acres			150 feet	
	Traditional Subdivisions 5 acres or greater				
Front Yard Setback		20 feet, with a maximum setback distance of 40 feet <sup>1 2</sup>	20 feet, with a maximum setback distance of 30 feet <sup>1 2</sup>	20 feet, with a maximum setback distance of 40 feet <sup>1</sup>	20 feet, with a maximum setback distance of 30 feet <sup>1</sup>
Side Yard Setback		5 feet, 20 feet on corner lots <sup>2</sup>			
Rear Yard Setback		30 feet			
Maximum Building Size	1 Story Structure	N/A	15,000 sq ft <sup>1</sup>	N/A	10,000 sq ft <sup>1</sup>
	2 Story Structure				15,000 sq ft <sup>1</sup>
Maximum Building Footprint	1 Story Structure	N/A	N/A	N/A	10,000 sq ft <sup>1</sup>
	2 Story Structure				7,500 sq ft <sup>1</sup>
Maximum Height		2 stories		2 stories	
General Notes:					
<sup>1</sup> The Maximum Front Yard Setback and Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.					
<sup>2</sup> Structures shall be setback a minimum of 50 feet from Hillsboro Road in all cases, regardless of the setback type applied.					

**(3) Design Standards**

**a) Parking and Access**

- i) A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19: Road Capacity Adjustment, and in accordance with the County’s Traffic Study Guidelines.

- ii) New off-street parking along Old Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building. See Section 17.06: Off-Street Parking Standards for additional parking requirements.

**b) Open Space**

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

**c) Pedestrian Amenities**

i) Sidewalks

- A. For properties along Old Hillsboro Road and Bethlehem Loop Road, a sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
  - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
  - 2) All new non-residential development;
  - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- C. For properties along Old Hillsboro Road and Bethlehem Loop Road which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

ii) Greenways and Nature Trails

- A. For properties abutting Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
  - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
  - 2) All new non-residential development;
  - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or

- 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
- C. Trails may exist within the required landscape buffering.
- D. For properties along Cartwright Creek or its tributaries that do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment to the creek in order to accommodate the future construction of a trail.

**d) Building Orientation and Setbacks**

- i) New buildings on Old Hillsboro Road shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
- ii) In cases where there is more than one building on a parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
- iii) Parcels along Hillsboro Road must maintain a fifty (50) foot building setback from the Hillsboro Road right-of-way.
- iv) In cases where a maximum setback is required by Table 10.02-18, the following standards shall apply:
  - A. The maximum setback applies to new structures, not additions to existing structures;
  - B. The maximum setback is met if a minimum of sixty (60) percent of the front building façade does not exceed this distance;
  - C. In cases where there is more than one building on the parcel, the maximum building setback applies to the structure with the largest street-facing façade; and
  - D. Structures with front facing patios for outdoor dining falling between the building and the front property line may be set back to maximum distance of forty (40) feet from the front property line.

**e) Façade Articulation and Fenestration**

- i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
- ii) A minimum of thirty (30) percent of the front façade shall either be two (2) stories in height, or shall be designed so as to appear to be two (2) stories in height. This can be accomplished by providing "upper story" windows on one or more of the following:
  - A. Gable walls
  - B. Non-gabled walls with a height of at least twenty (20) feet
  - C. Dormers

- iii) In cases where building facades will be wider than thirty-five (35) feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.
- iv) In multi-tenant retail buildings, each individual tenant façade shall be differentiated from adjoining tenant facades through the techniques outlined above.

**f) Roof Form**

- i) Roof forms shall be gabled or hipped, with at least one (1) gable end facing the street.

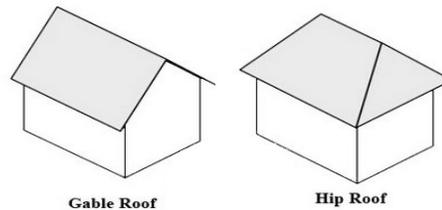


Figure 10.02-A: Permissible Roof Form Styles

- ii) The minimum roof pitch required is as follows (see Figure 10.02-B: Roof Pitch Illustration):
  - A. Buildings along Old Hillsboro Road must have a minimum roof pitch of 7:12; and
  - B. Buildings along Hillsboro Road must have a minimum roof pitch of 5:12.

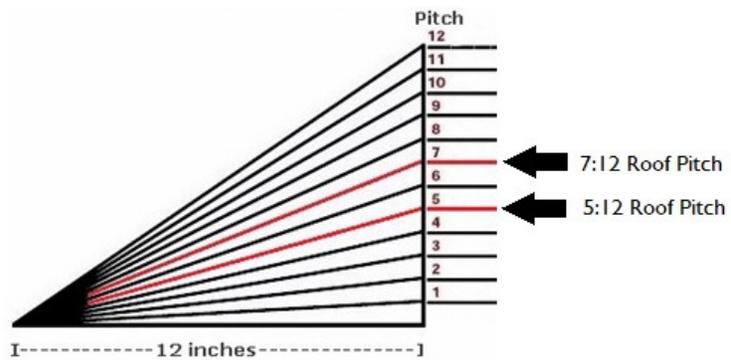


Figure 10.02-B: Roof Pitch illustration.

- iii) Buildings with a footprint of greater than 7,500 square feet may have a flat roof-well located in the central area of the roof, not to exceed fifty (50) percent of the roof area, with a pitched roof design on all sides of the building. The height of the partial pitched roof profile must be at least fifty (50) percent of the height of the façade for two-story

structures, and at least 75% of the height of the façade for one-story structures.

- iv) Roof eave overhangs shall be a minimum of one (1) foot.
- v) Mechanical and other roof-mounted equipment shall be screened from view.

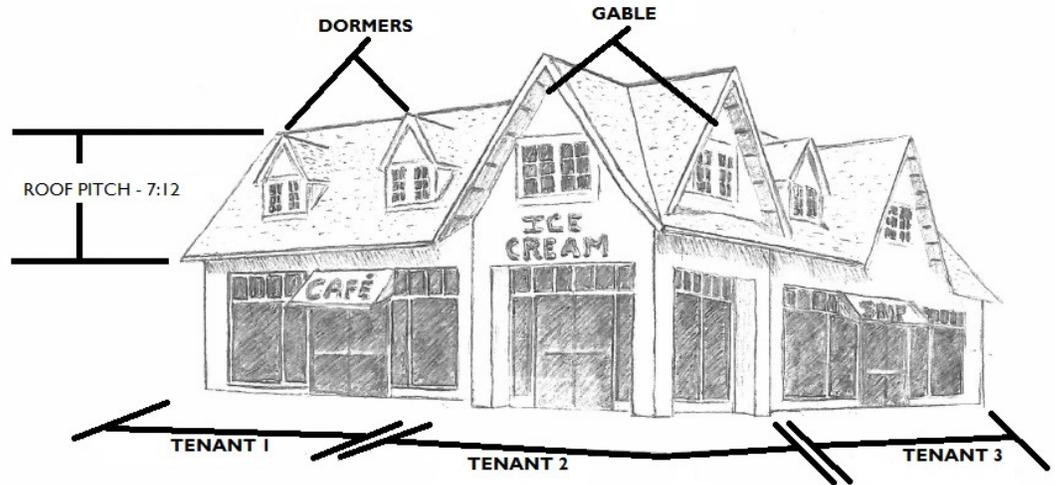


Figure 10.02-C: Façade and Roof Form Example Illustration

**g) Signage**

- i) All signage requirements of Article 18: Signage must be met. In addition, ground signs shall only be permitted for parcels containing multiple businesses or tenants.
- ii) New ground signs shall be monument style signs with a masonry base.

**(S) Grassland Village District Character 3 (GVC3)**

**(1) Purpose and Intent**

The purpose of the Grassland Village District Character 3(GVC3) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help ensure that future development is consistent with the recommendations for Character Area 3 contained in the Plan.

**(2) Dimensional Standards**

- a) Table 10.02-19 establishes the dimensional standards for the GVC3 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

<b>Table 10.02-19: Dimensional Standards for Grassland Village Character 3 (GVC3)</b>				
Dimensional Standards		Residential Structures		Nonresidential Structures
Minimum Lot Area		1 acre		
Max. Gross Res. Density	Single Family Dwellings	1 unit/acre		N/A
	Multi Family Dwellings	3 units/acre		
Minimum Lot Width		Traditional Subdivisions 1 – 2.99 acres	130 feet	130 feet
		Traditional Subdivisions 3 – 4.99 acres	160 feet	
		Traditional Subdivisions 5 acres or greater	200 feet	
Front Yard Setback		50 feet		
Side Yard Setback		20 feet		
Rear Yard Setback		50 feet		
Maximum Building Size		N/A		
Maximum Building Footprint		N/A		
Maximum Height		2 stories		

**(3) Design Standards**

**a) Parking and Access**

- i) A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19: Road Capacity Adjustment, and in accordance with the County’s Traffic Study Guidelines.
- ii) New off-street parking along Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building. See Section 17.06: Off-Street Parking Standards for additional parking requirements.

**b) Open Space**

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by a maximum of ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

**c) Pedestrian Amenities**

- i) Sidewalks
  - A. For properties along Bethlehem Loop Road, a sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:

- 1) All new single family residential development which consists of two (2) or more single-family dwellings;
  - 2) All new non-residential development;
  - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- C. For properties along Bethlehem Loop Road which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.
- ii) **Greenways and Nature Trails**
- A. For properties abutting Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
- 1) All new single family residential development which consists of two (2) or more single-family dwellings;
  - 2) All new non-residential development;
  - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
- C. Trails may exist within the required landscape buffering.
- D. For properties along Cartwright Creek or its tributaries that do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment to the creek in order to accommodate the future construction of a trail.

**d) Building Orientation and Setbacks**

New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.

**e) Façade Articulation and Fenestration**

Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.

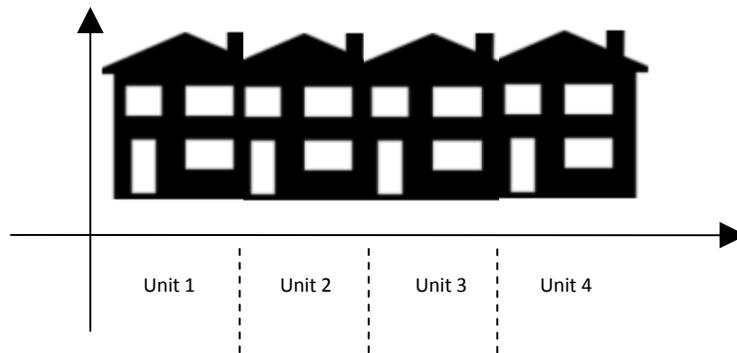
**f) Roof Form**

- i) Roof forms shall be gabled or hipped, with gable ends facing the street. See Figure 10.02-E: Examples of Gable and Hip Roof Forms.
- ii) The minimum roof pitch required shall be a minimum roof pitch of 7:12 (See Figure 10.02-F: Roof Pitch Illustration).
- iii) Religious Institutions and Educational Facilities shall be exempt from these roof form standards.

**g) Multi-Family Dwellings**

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- i) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- ii) There shall be a maximum of six (6) dwelling units in any single building.
- iii) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-D: Linear Multi-Family Dwelling Arrangement.



*Figure 10.02-D: Linear Multi-Family Dwelling Arrangement*

- iv) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- v) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such

- variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- vi) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
  - vii) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
  - viii) There shall be a minimum of forty (40) feet of separation between buildings.
  - ix) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
  - x) Parking areas, including garages, shall be located in the rear of the building.
  - xi) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
  - xii) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
  - xiii) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
  - xiv) If the development site abuts one or more side streets, access must be taken from a side street, rather than from an arterial or collector road.

**(T) Grassland Village District Character 4 (GVC4)**

**(1) Purpose and Intent**

The purpose of the Grassland Village District Character 4 (GVC4) is to help implement the vision and policies of the Grassland Village Special Area Plan. The development standards established for this District are intended to help ensure that future development is consistent with the recommendations for Character Area 4 contained in the Plan.

**(2) Dimensional Standards**

- a)** Table 10.02-20 establishes the dimensional standards for the GVC4 district.
- b)** Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

<b>Table 10.02-20: Dimensional Standards for Grassland Village Character 4 (GVC4)</b>					
Dimensional Standards		Residential Structures		Nonresidential Structures	
				Lots Abutting Hillsboro Road	All Other Lots
Minimum Lot Area		1 acre		20,000 sq ft	
Max. Gross Res. Density	Single Family Dwellings		1 unit/acre		N/A
	Multi-Family Dwellings	Slopes <15%	6 units/acre		
		Slopes >15%	2 units/acre		
Minimum Lot Width		Traditional Subdivisions 1 – 2.99 acres	130 feet		60 ft
		Traditional Subdivisions 3 – 4.99 acres	160 feet		
		Traditional Subdivisions 5 acres or greater	200 feet		
Front Yard Setback		30 feet		25 feet	15 feet
Side Yard Setback		20 feet		5 feet, 20 feet on corner lots	
Rear Yard Setback		30 feet		30 feet	
Maximum Building Size		N/A		N/A	
Maximum Building Footprint		N/A		25,000 sq ft	
Maximum Height		2 stories		2 stories	
General Notes: The Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.					

### **(3) Design Standards**

#### **a) Parking and Access**

- i) A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19: Road Capacity Adjustment, and in accordance with the County's Traffic Study Guidelines.
- ii) New off-street parking along Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building. See Section 17.06: Off-Street Parking Standards for additional parking requirements.
- iii) If the development site abuts one or more side streets, access must be taken from the side street, rather than from an arterial or collector road.
- iv) On-Street Parking
  - A. Shall be approved by the Williamson County Highway Commission;
  - B. Shall not be permitted on Hillsboro Road; and

- C. May be counted toward the fulfillment of off-street parking requirements as outlined in Section 17.06: Off-Street Parking Standards, subject to the following standards:
  - 1) The on-street parking areas are newly constructed as part of a new development.
  - 2) There shall be a minimum of three (3) contiguous on-street parking spaces constructed for the development.
  - 3) Sidewalks with a minimum width of five (5) feet shall be required adjacent to the on-street parking areas.

**b) Open Space**

New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement by ten (10) percent from the requirements outlined in Table 14.03-1: Open Space Set-Aside.

**c) Pedestrian Amenities**

i) Sidewalks

- A. Sidewalks with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
  - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
  - 2) All new non-residential development;
  - 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- B. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- C. For properties which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

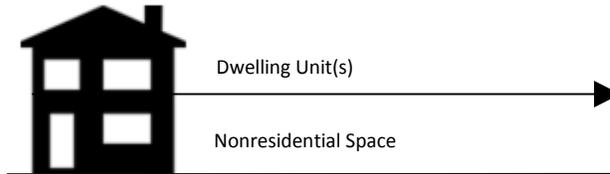
ii) Greenways and Nature Trails

- A. For properties abutting Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
  - 1) All new single family residential development which consists of two (2) or more single-family dwellings;
  - 2) All new non-residential development;

- 3) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - 4) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
  - B. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
  - C. Trails may exist within the required landscape buffering.
  - D. For properties along Cartwright Creek or its tributaries that do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment to the creek in order to accommodate the future construction of a trail.
- d) Building Orientation and Setbacks**
- i) The front façade of new buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
  - ii) In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the established right-of-way.
- e) Façade Articulation/Fenestration**
- i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
  - ii) In cases where building facades will be wider than forty (40) feet in width, the façade shall be broken up into increments not exceeding this width by varying setback and roof forms.
- f) Multi-Family Dwellings**
- Multi-family dwellings shall meet the general Special Use criteria established in Section 5.01: Special Use and shall meet either of the following standards:
- i) Townhomes
    - A. Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
    - B. There shall be a maximum of six dwelling units in any single building.

- C. Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-H: Linear Multi-Family Dwelling Arrangement
- D. Each dwelling unit shall have at least one separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- E. Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- F. Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- G. Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- H. There shall be a minimum of forty (40) feet of separation between buildings.
- I. The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- J. Parking areas, including garages, shall be located in the rear of the building.
- K. A five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- L. Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- M. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- N. If the development site abuts one or more side streets, access must be taken from a side street, rather than from an arterial or collector road.

- ii) Condominiums Associated with Nonresidential Uses
  - A. Dwelling units shall be permitted on the second floor of a building in which the first floor is occupied by one or more nonresidential uses. See Figure 10.02-E: Mixed Use Vertical Arrangement.



*Figure 10.02-E: Mixed Use Vertical Arrangement*

- B. Each individual dwelling unit must be owned independently.
- C. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.

**g) Signage**

- i) All signage requirements of Article 18: Signage of the Zoning Ordinance must be met.
- ii) New ground signs shall be monument style signs with a masonry base.

**h) Slope Protection**

- i) In addition to the standards outlined in Article 13, Nonresidential Development, including parking areas, may not occur on existing slopes of greater than fifteen (15) percent, except that land with existing slopes between fifteen (15) and twenty (20) percent may be utilized for such uses, provided that such land is located within 600 feet of the Hillsboro Road right-of-way.
- ii) Nonresidential Development may also occur on slopes between fifteen (15) and twenty (20) percent in accordance with the following:
  - A. No more than ten (10) percent of the total square footage of building footprint and parking areas, including drive aisles, may encroach into such slopes; and
  - B. These areas of encroachment must be contiguous with the other ninety (90) percent of the development on which the calculation is based.

**(U) Triune Village District (TV)**

## **Section 10.07**

### **Tables 10.07-1: Summary Table of Dimensional Standards, 10.07-2: Summary Table of Minimum Setbacks, 10.07-3: Summary Table of Minimum Lot Widths**

*All tables listed above will remove the following rows from the existing table format:*

- Village
- College Grove Village Core Subarea
- College Grove Village General Subarea
- Leipers Fork Village Core Subarea
- Leipers Fork Village General Subarea

*Table 10.07-1 will be altered to remove Note [3], Table 10.07-2 will be altered to remove Notes [2] and [3], and Table 10.07-3 will be altered to remove Note [2].*

### **The following new Tables will be added to Section 10.07:**

- 1.** Table 10.07-4: Summary Table of Dimensional Standards – Village Districts
- 2.** Table 10.07-5: Summary Table of Minimum Setbacks – Village Districts
- 3.** Table 10.07-6: Summary Table of Minimum Lot Widths – Village Districts

**Table 10.07-4: Summary Table of Dimensional Standards – Village Districts [1]**

District	Structure Type	Minimum Lot Area		Maximum Gross Residential Density			Maximum Height	
V [2]	Residential Structures	15,000 square feet		3.0 units per acre			3.5 stories	
	Nonresidential Structures	10,000 square feet		Not Applicable				
CGV Core Subarea	Residential Structures	15,000 square feet		3.0 units per acre			3.0 stories	
	Nonresidential Structures	Not Applicable		Not Applicable				
CGV General Subarea	Residential Structures	½ Acre		2.0 units per acre			3.0 stories	
	Nonresidential Structures	1 Acre		Not Applicable				
LFV Core Subarea	Residential Structures	10,000 square feet		4.0 units per acre			2.0 stories	
	Nonresidential Structures	Not Applicable		Not Applicable				
LFV General Subarea	Residential Structures	1 acre		2.0 units per acre			2.0 stories	
	Nonresidential Structures			Not Applicable				
GVC1	Residential Structures	1 acre		1.0 unit per acre			2.0 stories	
	Nonresidential Structures			Not Applicable				
GVC2	Residential Structures	Lots Abutting Hillsboro Road	1 acre	Lots Abutting Hillsboro Road	1.0 unit per acre		2.0 stories	
		All Other Lots	20,000 square feet	All Other Lots	2.0 units per acre			
	Nonresidential Structures	Lots Abutting Hillsboro Road	1 acre	Not Applicable				
		All Other Lots	20,000 square feet					
GVC3	Residential Structures	1 acre		Single Family Dwellings		1.0 unit per acre	2.0 stories	
				Multi-Family Dwellings		3.0 units per acre		
	Nonresidential Structures			Not Applicable				
GVC4	Residential Structures	1 acre		Single Family Dwellings		1.0 unit per acre	2.0 stories	
				Multi-Family Dwellings	Townhomes	Slopes <15%		6.0 units per acre
					Condos Above Residential	Slopes >15%		2.0 units per acre
	Nonresidential Structures			20,000 square feet		Not Applicable		
TV	Residential Structures	PLACEHOLDER						
	Nonresidential Structures							

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.

[2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards

**Table 10.07-5: Summary Table of Minimum Setbacks – Village Districts [1]**

District	Structure Type	Front Yard Setback		Side Yard Setback	Rear Yard Setback
		Traditional Subdivisions 1-4.99 Ac	Traditional Subdivisions 5 Acres and Greater	Traditional Subdivisions	Traditional Subdivisions
V	Residential Structures	50 feet	100 feet	15 feet	30 feet
	Nonresidential Structures	50 feet			
CGV Core Subarea	Residential Structures	20 feet, 30 feet maximum [3]		5 feet, 20 feet on corner lot	30 feet
	Nonresidential Structures	5 feet, 15 feet maximum [3]		0 feet, 10 feet on corner lot	
CGV General Subarea	Residential Structures	50 feet		20 feet	30 feet
	Nonresidential Structures			25 feet	
LFV Core Subarea	Residential Structures	20 feet, 40 feet maximum [3]		5 feet, 20 feet on corner lot	30 feet
	Nonresidential Structures	5 feet, 25 feet maximum [3]		0 feet, 10 feet on corner lot	
LFV General Subarea	Residential Structures	30 feet		20 feet	30 feet
	Nonresidential Structures			25 feet	
GVC1	Residential Structures	60 feet	100 feet	20 feet	60 feet
	Nonresidential Structures	60 feet		35 feet	
GVC2	Residential Structures	20 feet, 40 feet maximum [3], or 50 feet on Hillsboro Rd		5 feet, 20 feet on corner lot	30 feet
	Nonresidential Structures	20 feet, 30 feet maximum [3], or 50 feet on Hillsboro Rd			
GVC3	Residential Structures	50 feet		20 feet	50 feet
	Nonresidential Structures				
GVC4	Residential Structures	30 feet		20 feet	30 feet
	Nonresidential Structures	15 feet, or 25 feet on Hillsboro Road		5 feet, 20 feet on corner lot	
TV	Residential Structures	PLACEHOLDER			
	Nonresidential Structures				

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.

[2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards

[3] The maximum front yard setback does not apply to Religious Institutions or Educational Facilities.

**Table 10.07-6: Summary Table of Minimum Lot Widths – Village Districts [1]**

District	Structure Type		Minimum Lot Width		
			Traditional Subdivisions 1-2.99 Ac	Traditional Subdivisions 3-4.99 Ac	Traditional Subdivisions 5 Acres and Greater
V [2]	Residential Structures		50 feet		150 feet
	Nonresidential Structures		50 feet		
CGV Core Subarea	Residential Structures		50 feet		150 feet
	Nonresidential Structures		Not Applicable		
CGV General Subarea	Residential Structures		75 feet		150 feet
	Nonresidential Structures		Not Applicable		
LFV Core Subarea	Residential Structures		40 feet		150 feet
	Nonresidential Structures		40 feet		
LFV General Subarea	Residential Structures		75 feet		150 feet
	Nonresidential Structures		100 feet		
GVC1	Residential Structures		130 feet	160 feet	200 feet
	Nonresidential Structures		130 feet		
GVC2	Residential Structures	Lots Abutting Hillsboro Road	150 feet		
		All Other Lots	60 feet		150 feet
	Nonresidential Structures	Lots Abutting Hillsboro Road	150 feet		
		All Other Lots	60 feet		
GVC3	Residential Structures		130 feet	160 feet	200 feet
	Nonresidential Structures		130 feet		
GVC4	Residential Structures		130 feet	160 feet	200 feet
	Nonresidential Structures		60 feet		
TV	Residential Structures		PLACEHOLDER		
	Nonresidential Structures				

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.

[2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards

**ARTICLE 11**

**Tables 11.01-1: Table of Allowed Uses, 11.04-1: Permitted Accessory Uses and Structures, 11.05-1: Permitted Temporary Uses and Structures**

All tables listed above will remove the following rows from the existing table format:

- Village (V)
- College Grove Village (CGV)
- Grassland Village (GV)
- Leipers Fork Village (LFV)
- Triune Village (TV)

The following table will be added to section 11.01 (please note Grassland Village Districts are in **RED**):

Table 11.01-2: Table of Allowed Uses - Village Districts											
		P = PERMITTED		S = SPECIAL USE				BLANK CELL = PROHIBITED			
USE CATEGORY	USE TYPE	>	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS	
<b>AGRICULTURAL USE CLASSIFICATION</b>											
Agriculture	Agricultural	P	P	P	P	P	P	P			
	Nurseries	P	P	P	P	P	P	P		Section 11.03:(A)(1)	
Agricultural Support and Services	Equestrian Facilities	S	S					P		Section 11.03:(A)(3)	
	Farm Wineries	P	P					S		Section 11.03:(A)(4)	
<b>RESIDENTIAL USE CLASSIFICATION</b>											
Household Living	Congregate Independent Living Centers					S	S			Section 11.03:(B)(1)	
	Conservation Subdivisions									Section 11.03:(B)(2)	
	Mobile Homes									Section 11.03:(B)(3)	
	Mobile Home Parks									Section 11.03:(B)(4)	
	Multi-Family Dwellings	S				S	S			Section 11.03:(B)(5)	
	Retirement Communities	S								Section 11.03:(B)(6)	
	Single-Family Dwellings on Parcels of Record	P	P	P	P	P	P	P			
	Traditional Subdivisions - Major	P	P	P	S	P	P	P	P		
Traditional Subdivisions - Minor	P	P	P	P	P	P	P	P			
Group Living	Congregate Assisted Living Centers					S	S			Section 11.03:(B)(7)	
	Institutional Single-Family Homes (1-8 Residents)	P	P	P	P	P	P	P			

Table 11.01-2: Table of Allowed Uses - Village Districts										
P = PERMITTED			S = SPECIAL USE				BLANK CELL = PROHIBITED			
USE CATEGORY	USE TYPE	>	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS
	Residential Institutional	S								Section 11.03:(B)(8)
	Skilled Nursing Facilities					S	S			Section 11.03:(B)(9)
PUBLIC AND INSTITUTIONAL USE CLASSIFICATION										
Day Care	Day Care Centers	P	P		S		P	P		Section 11.03:(C)(1)
Educational Facilities	Educational Facilities	P	P	P	P	P	P	P		Section 11.03:(C)(2)
	Educational Facilities, Higher		S	P				S		Section 11.03:(C)(3)
	Specialty Education Facility, Intellectually and Developmentally Disabled	S		P						Section 11.03:(C)(14)
Government Facilities	Government Maintenance, Storage, or Distributional Facilities	P	P	P	P	P	P	P		Section 11.03:(C)(4)
	Government Offices	P	P	P	P	P	P	P		
	Public Safety Services	P	P	P	P	P	P	P		
Health Care Facilities	Hospitals									Section 11.03:(C)(5)
	Medical or Dental Clinics	P	P		P		P	P		
	Outpatient Facilities	P	P		P		P	P		
	Rehabilitation Centers									Section 11.03:(C)(6)
Institutions	Clubs or Lodges	P	P				P	P		
	Cultural Institutions	P	P				P	P		Section 11.03:(C)(7)
	Religious Institutions	P	P	P	P	P	P	P		Section 11.03:(C)(8)
Parks and Open Areas	Commercial Cemeteries									Section 11.03:(C)(9)
	Park or General Open Space	P	P	P	P	P	P	P		
Transportation and Utilities	Airports, Landing Strips, and Heliports, Private	S								Section 11.03:(C)(10)
	Airports, Landing Strips, and Heliports, Public									Section 11.03:(C)(11)
	Utilities	P	P	P	P	P	P	P		Section 11.03:(C)(12)
	Wireless Telecommunications Facilities	Permitted or Special Use as Established in Section 11.03:(C)(13)								
COMMERCIAL USE CLASSIFICATION										
Adult Entertainment	Adult-Oriented Establishments									Section 11.03:(D)(1)

Table 11.01-2: Table of Allowed Uses - Village Districts											
		P = PERMITTED		S = SPECIAL USE				BLANK CELL = PROHIBITED			
USE CATEGORY	USE TYPE	>	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS	
Animal Care	Animal Boarding Facilities									Section 11.03:(D)(2)	
	Animal Hospitals or Veterinarian Clinics or Animal Grooming	P	P		P		P	P			
	Animal Hospitals or Veterinarian Clinics with Animal Boarding				P		P	S		Section 11.03:(D)(3)	
Conference or Training Center	Conference Centers	S					P	S		Section 11.03:(D)(4)	
	Rural Retreats - Extensive		S					S		Section 11.03:(D)(5)	
	Rural Retreats - Limited	P	P					P		Section 11.03:(D)(6)	
Eating and Drinking Establishments	Bars or Taverns	P	P		S		P	P			
	Drive-In Restaurants						P				
	Restaurants	P	P		P		P	P			
	Specialty Eating or Drinking Establishment	P	P		P		P	P			
Offices	Offices	P	P		P		P	P			
Parking, Commercial	Parking Lot, Stand-Alone			S	S		P	P		Section 11.03:(D)(7)	
Recreation / Entertainment Facilities	Golf Courses	P	P	P				P			
	Golf Driving Ranges	P	P	P				P			
	Private Recreational Centers	P	P	P	P	P	P	P		Section 11.03:(D)(8)	
	Recreational and Athletic Facilities, Indoor	P	S				P	S		Section 11.03:(D)(9)	
	Recreational and Athletic Facilities, Outdoor	S	S	S				S		Section 11.03:(D)(10)	
	Stadiums and Arenas									Section 11.03:(D)(11)	
	Outdoor Amusement									Section 11.03:(D)(20)	
Retail Sales and Services	Bank or Financial Institutions	P	P		P		P	P			
	Funeral Homes	S	S		S		S	S			
	Convenience Stores without Gasoline Sales	P	P		S		P	P			
	Convenience Stores with Gasoline Sales	P	S				P	S		Section 11.03:(D)(12)	
	Entertainment Establishments	S	S				P	S			

**Table 11.01-2: Table of Allowed Uses - Village Districts**

P = PERMITTED											S = SPECIAL USE				BLANK CELL = PROHIBITED		
USE CATEGORY	USE TYPE	>	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS							
Retail Sales and Services	Mixed Use / Multi-Tenant Developments	S	S		S		P	S		Section 11.03:(D)(13)							
	Liquor Store	S	S				S	S									
	Grocery Store	P	P				P	P									
	Personal Service Establishments	P	P		P		P	P									
	Retail Sales and Service, Extensive	S								Section 11.03:(D)(14)							
	Retail Sales and Service, General	P	P		P		P	P									
Self-Service Storage	Self-Service Storage	S					S			Section 11.03:(D)(15)							
Vehicle / Machinery Sales and Service	Automotive and Machinery Repair	S	S				P	S		Section 11.03:(D)(16)							
	Automotive and Machinery Rental or Sales																
	Vehicle Washing Establishment	P	S				S										
	Truck Stops									Section 11.03:(D)(17)							
Visitor Accommodations	Bed and Breakfast Establishments	P	P		P		P	P		Section 11.03:(D)(18)							
	Hotels	S	S				S	S									
	Vacation Rental Homes							S		Section 11.03:(D)(19)							
<b>INDUSTRIAL USE CLASSIFICATION</b>																	
Extractive Industry	Rock Quarries									Section 11.03:(E)(1)							
	Mining Operations									Section 11.03:(E)(1)							
Industrial Uses	General Industrial Services	S	S														
	Light Industrial Services	S	S				S	S		Section 11.03:(E)(2)							
	Heavy Industrial Services									Section 11.03:(E)(3)							
	Research and Development Facilities																
	Warehouses																
	Craft Distilleries									Section 11.03:(E)(10)							
Waste Related Services	Landfills, Private									Section 11.03:(E)(4)							

**Table 11.01-2: Table of Allowed Uses - Village Districts**

P = PERMITTED											S = SPECIAL USE				BLANK CELL = PROHIBITED			
USE CATEGORY	USE TYPE	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS								
Waste Related Services	Nontraditional Wastewater Treatment and Disposal System	P	P	P	P	P	P	P		Section 11.03:(E)(5)								
	Recycling Drop-Off and Other Drop-Off Centers	P	P	P			P	P		Section 11.03:(E)(6)								
	Recycling Centers									Section 11.03:(E)(7)								
	Salvage Centers									Section 11.03:(E)(8)								
	Trash Compaction and Transfer Stations									Section 11.03:(E)(9)								

The following Table will be added to Section 11.04 (please note Grassland Village Districts are in **RED**):

Table 11.04-2: Permitted Accessory Uses and Structures - Village Districts										
	P = PERMITTED		S = SPECIAL USE				BLANK CELL = PROHIBITED			
	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS	
Accessory Dwelling Units	P	P		P	P	P	P		Section 11.04:(D)(1)	
Accessory Dwelling Units, Commercial	P	P		P		P	P		Section 11.04:(D)(2)	
Additional Principal Dwellings	P	P	P	P	P	P	P		Section 11.04:(D)(3)	
Agricultural Product Sales	P	P	P	P		P	P		Section 11.04:(D)(4)	
Cemeteries, Accessory	P	P	P	P	P	P	P		Section 11.04:(D)(5)	
Day Care Centers Accessory to an Institutional Use	P	P	P	P	P	P	P		Section 11.04:(D)(6)	
Family Child Care Homes	P	P	P	P	P	P	P		Section 11.04:(D)(7)	
Garages and Carports	P	P	P	P	P	P	P			
Greenhouses Accessory to a Residential Use	P	P	P	P	P	P	P			
Group Child Care Homes	S	S	S	S		S	S		Section 11.04:(D)(8)	
Home Occupations	P	P	P	P	P	P	P		Section 11.04:(D)(9)	
Residential Businesses	S	S		S		S	S		Section 11.04:(D)(10)	
Retaining Walls	P	P	P	P	P	P	P		Section 11.04:(D)(14)	
Small-Scale Wind Energy Turbines (SWET)			P						Section 11.04:(D)(11)	
Solar Panels	P	P	P	P	P	P	P		Section 11.04:(D)(12)	
Stables Accessory to a Residential Use	P	P	P		P		P			
Stadiums and Arenas Accessory to an Educational Facility	P	P	P				P			
Swimming Pools	P	P	P	P	P	P	P		Section 11.04:(D)(13)	

**The following Table will be added to Section 11.05:**

Table 11.05-2: Permitted Temporary Uses and Structures - Village Districts									
	P = PERMITTED		S = SPECIAL USE				BLANK CELL = PROHIBITED		ADDITIONAL REQUIREMENTS
	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	
Acceptance of Fill Material	P	P	P	P	P	P	P	P	Section 11.05:(D)(1)
Borrow Pit	P	P	P	P	P	P	P	P	Section 11.05:(D)(2)
Contractor's Office and Construction Equipment Sheds	P	P	P	P	P	P	P	P	Section 11.05:(D)(3)
Firework Sales	P	P				P	P		Section 11.05:(D)(4)
Produce Stand/Seasonal Sales	P	P	P	P		P	P		Section 11.05:(D)(5)
Real Estate Sales Office/Model Home Sales	P	P		P	P	P	P		Section 11.05:(D)(6)
Special Events - Extensive Impact	S	S	S	S	S	S	P		Section 11.05:(D)(7)
Special Events - Limited Impact	P	P	P	P	P	P	P		Section 11.05:(D)(8)
Temporary Asphalt, Asphalt Reprocessing Plants, or Rock Quarries	P								Section 11.05:(D)(9)
Temporary Shelters	P	P	P	P	P	P	P		Section 11.05:(D)(10)
Temporary Storage in Portable Shipping Containers	P	P	P	P	P	P	P		Section 11.05:(D)(11)
Temporary Structures Related to Institutional Uses	P	P	P	P	P	P	P		Section 11.05:(D)(11)

**Section 11.03 (D)**

New text is noted in **RED**.

Text to be removed is noted in ~~STRIKETHROUGH~~.

(...)

**(3) Animal Hospitals or Veterinarian Clinics with Animal Boarding**

- a)** Animal hospitals or veterinarian clinics that also provide for animal boarding (beyond that which is necessary for medical treatment) shall be subject to the standards for animal boarding facilities in Section 11.03(D)(2) Animal Boarding Facilities.
- b)** In the Grassland Village Zoning Districts the following standards must be met in addition to those noted in 11.03(D)(3)(a):
  - i) All boarding activities must remain completely indoors.
  - ii) A soundproofing plan will be required for all buildings being utilized as part of the boarding activities.
  - iii) An approval letter from the sewer provider is required prior to any approvals being issued.

**ARTICLE 13**

New text is noted in **RED**.

Text to be removed is noted in ~~STRIKETHROUGH~~.

**Section 13.03 (B)**

(...)

**(4) Protection Standards**

(...)

**c) Slopes in the GVC4 District**

In addition to the standards outlined herein, new development in the GVC4 district shall adhere to the slope protection standards outlined in Section 10.02(T)(3)(h).

**ARTICLE 14**

New text is noted in **RED**.

Text to be removed is noted in ~~STRIKETHROUGH~~.

**Table 14.03-1: Open Space Set Aside**

<b>TABLE 14.03-1: OPEN SPACE SET-ASIDE</b>	
<b>District and Type of Use</b>	<b>Minimum Percentage of Gross Site Area Designated as Open Space</b>
<b>A District</b>	
All Use Types	None
<b>RD-5 and RP-5 Districts</b>	
Conservation Subdivisions	60%
Major Traditional Subdivisions	30%
Nonresidential Uses	60%
<b>RD-1, RP-1, <b>GVC1</b> and SIC Districts</b>	
Conservation Subdivisions	50%
Major Traditional Subdivisions	25%
Multi-Family Dwellings	50%
Nonresidential Uses	50%
<b>V and H Districts</b>	
Conservation Subdivisions	50%
Major Traditional Subdivisions	20%
Multi-Family Dwellings	40%
Nonresidential Uses	40%
Residential Institutional	40%
Retirement Communities	40%

**TABLE 14.03-1: OPEN SPACE SET-ASIDE**

District and Type of Use	Minimum Percentage of Gross Site Area Designated as Open Space
<b>CGV, LfV Core Subarea, GVC2, and GVC3 Districts</b>	
Major Traditional Subdivisions	20%
Nonresidential Uses	40%
Residential Uses	40%
<b>LfV Core District Subarea</b>	
Major Traditional Subdivisions	20%
Nonresidential Uses	40%
Residential Uses	40%
<b>LfV General District Subarea</b>	
Major Traditional Subdivisions	25%
Nonresidential Uses	40%
Residential Uses	40%
<b>GVC4 District</b>	
<b>Major Traditional Subdivisions</b>	<b>20%</b>
<b>Nonresidential Uses</b>	<b>30%</b>
<b>MGA District</b>	
Major Traditional Subdivisions	30%
Nonresidential Uses	60%
<b>NC and NCMH Districts</b>	
Major Traditional Subdivisions	25%
Mobile Home Parks	50%
Nonresidential Uses	50%
<b>840C District</b>	
Congregate Assisted Living Centers and Congregate Independent Living Centers	50%
Conservation Subdivisions	50%
Major Traditional Subdivisions	25%
Multi-Family Dwellings	50%
Nonresidential Uses	50%
Residential Institutional	40%
Retirement Communities	40%
Skilled Nursing Facilities	50%
<b>AP District</b>	
Nonresidential Uses	Based on Underlying Zoning District

## **ARTICLE 19**

New text is noted in **RED**.

Text to be removed is noted in ~~STRIKETHROUGH~~.

### **Section 19.05**

- (A) Within areas designated as Municipal Growth Areas (MGA), **Grassland Villages (GVC1, GVC2, GVC3, GVC4)**, and Suburban Infill and Conservation (SIC) areas, all developments must conduct a traffic study in accordance with the criteria outlined below, and in accordance with Traffic Study Guidelines (available in the Community Development Department).