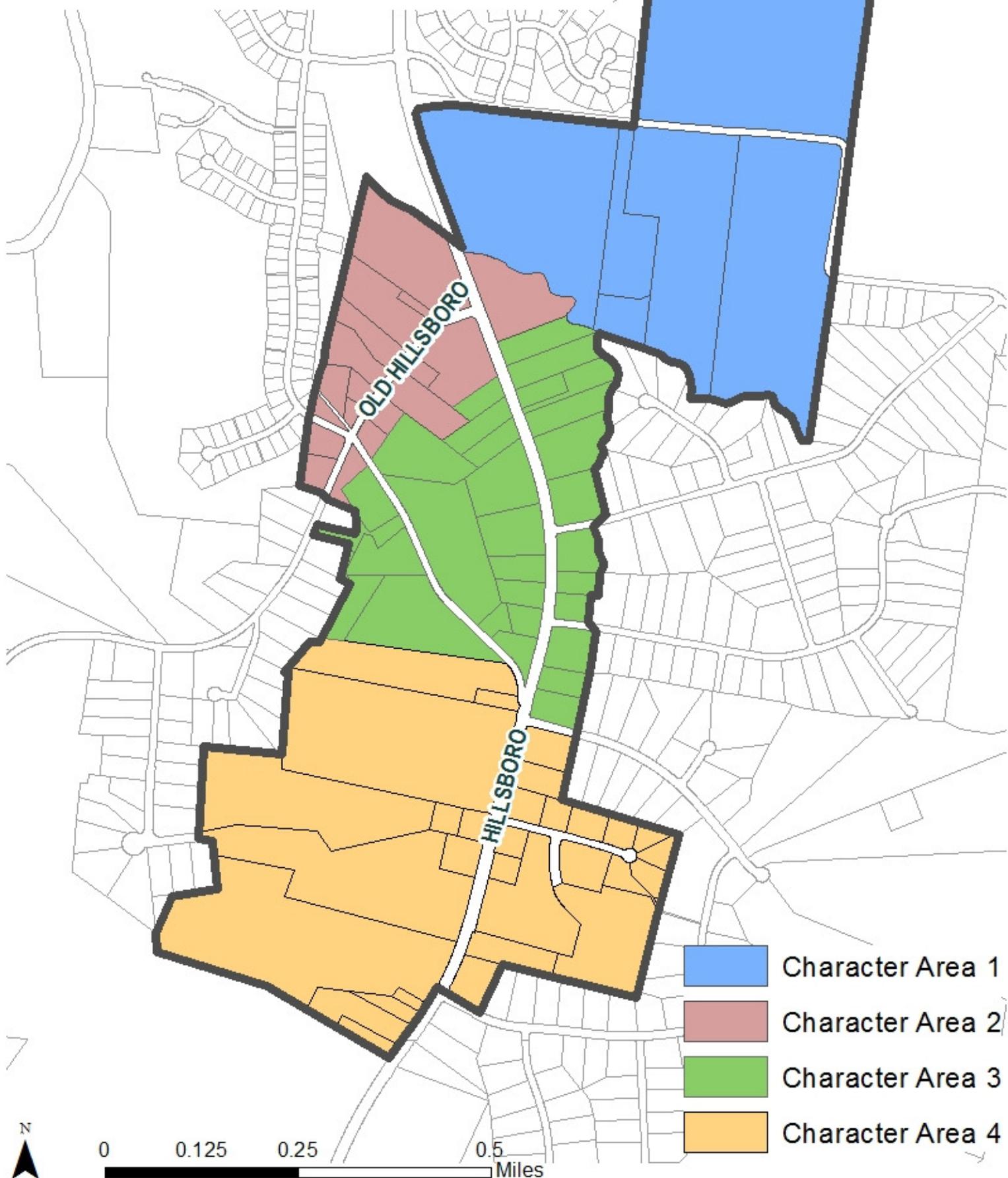


# GRASSLAND VILLAGE CHARACTER AREAS



## CHARACTER AREA 1

### A. Parking and Access

A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19 of the Zoning Ordinance and in accordance with the County's Traffic Study Guidelines (available in the Community Development Department).

### B. Open Space

#### 1. Non-Residential Development

- a. A minimum of fifty (50) percent open space shall be required.
- b. New non-residential development projects which utilize pervious paving materials, such as pervious concrete to meet parking requirements may reduce their open space requirement to forty (40) percent.

#### 2. Major Traditional Subdivisions

A minimum of twenty-five (25) percent open space shall be required.

## CHARACTER AREA 2

### A. Parking and Access

1. A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19 of the Zoning Ordinance and in accordance with the County's Traffic Study Guidelines (available in the Community Development Department).
2. New off-street parking along Old Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.

### B. Building Orientation and Setbacks

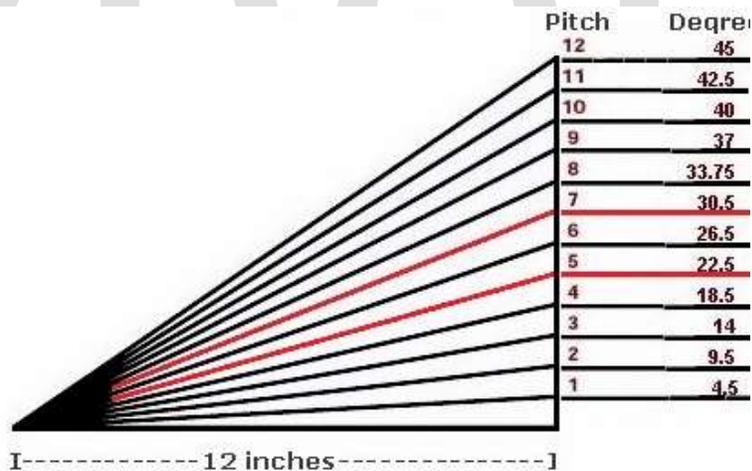
1. New buildings on Old Hillsboro Road shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
2. In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
3. Parcels along Hillsboro Road must maintain a fifty (50) foot building setback from the Hillsboro Road right-of-way.
4. In cases where a maximum setback is required, the following standards will apply:
  - a. The maximum setback applies to new structures, not additions to existing structures;
  - b. The maximum setback is met if a minimum of 60% of the front building façade does not exceed this distance;
  - c. In cases where there is more than one building on the parcel, the maximum setback applies to the structure with the largest street-facing façade; and
  - d. Structures with front facing patios for outdoor dining falling between the building and the front property line may be set back to a maximum distance of forty (40) feet from the front property line.

### C. Façade Articulation/Fenestration

1. Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
2. A minimum of thirty (30) percent to the front façade shall either be two (2) stories in height, or shall be designed so as to appear to be two (2) stories in height. This can be accomplished by providing “upper story” windows on one or more of the following:
  - a. Gable walls;
  - b. Non-gabled walls with a height of at least twenty (20) feet; or
  - c. Dormers.
3. In cases where building facades will be wider than thirty-five (35) feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.
4. In multi-tenant retail buildings, each individual tenant façade shall be differentiated from adjoining tenant facades through the techniques outlined above.

### D. Roof Form

1. Roof forms shall be gabled or hipped, with gable ends facing the street.
2. The minimum roof pitch required is as follows:
  - a. Buildings along Old Hillsboro Road must have a minimum roof pitch of 7:12; and
  - b. Buildings along Hillsboro Road must have a minimum roof pitch of 5:12.



3. Buildings with a footprint or greater than 7,500 square feet may have a flat roof-well located in the central area of the roof, not to exceed fifty (50) percent of the roof area, with a pitched roof design on all sides of the buildings. The height of the partial pitched roof profile must be at least 50% of the height of the façade when two-stories and at least 75% of the height of the façade when on-story.
4. Roof eave overhangs shall be a minimum of one (1) foot.

5. Mechanical and other roof-mounted equipment shall be screened from view.



*Example of standards as outlined in the above standards.*

#### **E. Sidewalks**

1. For properties along Old Hillsboro Road and Bethlehem Loop Road, a sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
  - a. All new single family residential development which consists of two (2) or more single-family dwellings;
  - b. All new non-residential development;
  - c. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - d. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
2. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
3. For properties along Old Hillsboro Road and Bethlehem Loop Road which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

## **F. Greenways & Nature Trails**

- 1.** For properties that abut Cartwright Creek or its tributaries, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions or expansions to existing structures which fall into one of the following categories:
  - a.** All new single family residential development which consists of two (2) or more single-family dwellings;
  - b.** All new nonresidential development;
  - c.** All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - d.** All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- 2.** Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
- 3.** Trails may exist within the required buffer for landscaping.
- 4.** For properties along Cartwright Creek or its tributaries which do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment on the creek in order to accommodate the future construction of a trail.

## **G. Open Space**

- 1. Non-Residential Development**
  - a.** A minimum of forty (40) percent open space shall be required.
  - b.** New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to thirty (30) percent.
- 2. Major Traditional Subdivisions**

A minimum of twenty (20) percent open space shall be required.

## **H. Signage**

- 1.** All signage requirements of Article 18 of the Zoning Ordinance must be met. In addition, ground signs shall only be permitted for parcels containing multiple businesses or tenants.
- 2.** New ground signs must be monument style signs with a masonry base.

## **I. Vet Clinics with Animal Boarding**

Animal Hospitals or Veterinarian Clinics with Animal Boarding must adhere to the following standards:

- a.** All boarding activities must remain completely indoors.
- b.** A soundproofing plan will be required for all buildings being utilized as part of the boarding activities.
- c.** An approval letter from the sewer provider is required prior to any approvals being issued.

### CHARACTER AREA 3

#### A. Parking and Access

1. A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19 of the Zoning Ordinance and in accordance with the County's Traffic Study Guidelines (available in the Community Development Department).
2. New off-street parking along Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.

#### B. Building Orientation

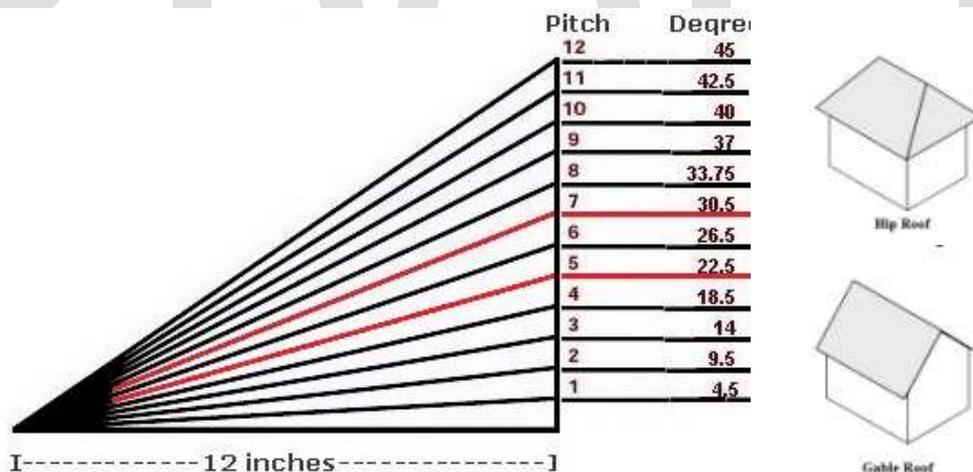
New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.

#### C. Façade Articulation/Fenestration

Building façades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.

#### D. Roof Form

1. Roof forms shall be gabled or hipped, with gable ends facing the street.
2. The minimum roof pitch required is 7:12.
3. Religious Institutions and Educational Facilities shall be exempt from these roof form standards.



#### E. Sidewalks

1. For properties along Bethlehem Loop Road, a sidewalk with a minimum width of five (5) feet shall be required at the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:

- a. All new single family residential development which consists of two (2) or more single-family dwellings;
  - b. All new non-residential development;
  - c. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - d. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
2. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
  3. For properties along Bethlehem Loop Road which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

#### **F. Greenways & Nature Trails**

1. For properties that abut the tributary of Cartwright Creek, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions or expansions to existing structures which fall into one of the following categories:
  - a. All new single family residential development which consists of two (2) or more single-family dwellings;
  - b. All new nonresidential development;
  - c. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - d. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
2. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
3. Trails may exist within the required buffer for landscaping.
4. For properties along the tributary of Cartwright Creek which do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment on the creek in order to accommodate the future construction of the trail.

#### **G. Open Space**

1. Non-Residential Development
  - a. A minimum of forty (40) percent open space shall be required.
  - b. New non-residential development projects which utilize pervious paving materials, such as pervious concrete to meet parking requirements may reduce their open space requirement to thirty (30) percent.
2. Major Traditional Subdivisions  
A minimum of twenty (20) percent open space shall be required.

## H. Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

1. Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
2. There shall be a maximum of six dwelling units in any single building.
3. Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 1.

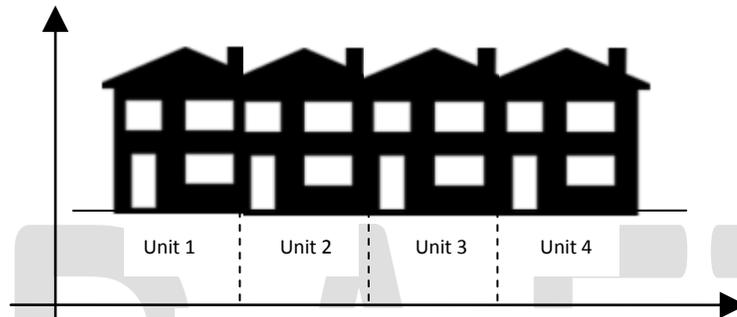


Figure 1: Horizontal, Linear Arrangement

4. Each dwelling unit shall have at least one separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
5. Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
6. Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide 15% door and window fenestration on exterior walls.
7. Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
8. There shall be a minimum of forty (40) feet of separation between buildings.
9. The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
10. Parking areas, including garages, shall be located in the rear of the building.
11. A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
12. Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
13. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
14. If the development site abuts one or more side street, access must be taken from a side street, rather than from an arterial or collector road.

## CHARACTER AREA 4

### A. Slope Protection

1. In addition to the standards found in Article 13; Resource Protection Standards, Nonresidential Development, including parking areas, may not occur on existing slopes of greater than fifteen (15) percent, except that land with existing slopes between fifteen (15) and twenty (20) percent may be utilized for such uses, provided that such land is located within 600 feet of the Hillsboro Road right-of-way.
2. Nonresidential Development may also occur on slopes between fifteen and twenty (15-20%) percent in accordance with the following:
  - a. No more than 10% of the total square footage of building footprints and parking areas, including drive aisles, may encroach into such slopes; and
  - b. These areas of encroachment must be contiguous with the other 90% of the development on which the calculation is based.

### B. Parking and Access

1. A traffic study or analysis must be conducted for all developments in accordance with the criteria outlined in Article 19 of the Zoning Ordinance and in accordance with the County's Traffic Study Guidelines (available in the Community Development Department).
2. If the development site abuts one or more side streets, access must be taken from the side street, rather than from an arterial or collector road.
3. New off-street parking along Hillsboro Road must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.
4. On-street parking shall not be permitted on Hillsboro Road.
5. On-street parking, as approved by the Williamson County Highway Commission, may be counted toward the fulfillment of off-street parking requirements as outlined in Article 17 of the Williamson County Zoning Ordinance, subject to the following standards:
  - a. The on-street parking areas are newly constructed as part of a new development.
  - b. There shall be a minimum of three (3) contiguous on-street parking spaces constructed for the development.
  - c. Sidewalks with a minimum width of five (5) feet shall be required adjacent to the on-street parking areas.

### C. Building Orientation

1. The front façade of new buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
2. In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the established right-of-way.

### D. Façade Articulation/Fenestration

1. Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
2. In cases where building facades will be wider than forty (40) feet in width, the façade shall be broken up into increments not exceeding this width by varying setback and roof forms.

#### **E. Sidewalks**

1. Sidewalks with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
  - a. All new single family residential development which consists of two (2) or more single-family dwellings;
  - b. All new non-residential development;
  - c. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - d. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
2. Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
3. For properties which do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

#### **F. Greenways & Nature Trails**

1. For properties that abut the tributary of Cartwright Creek, a ten (10) foot asphalt trail shall be required adjacent to the creek for all new construction, renovations, additions or expansions to existing structures which fall into one of the following categories:
  - a. All new single family residential development which consists of two (2) or more single-family dwellings;
  - b. All new nonresidential development;
  - c. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
  - d. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
2. Where a trail is required, the property owner shall also record a fifteen (15) foot public access easement running the length of the property's abutment on the creek.
3. Trails may exist within the required buffer for landscaping.
4. For properties along the tributary of Cartwright Creek which do not meet the above criteria, but for which County approval is required, the property owner shall record a fifteen (15) foot public access easement running the length of the property's abutment on the creek in order to accommodate the future construction of the trail.

## G. Open Space

### 1. Non-Residential Development

- a. A minimum of thirty (30) percent open space shall be required.
- b. New non-residential development projects which utilize pervious paving materials, such as pervious concrete to meet parking requirements may reduce their open space requirement to twenty (20) percent.

### 2. Major Traditional Subdivisions

A minimum of twenty (20) percent open space shall be required.

## H. Multi-Family Dwellings

Multi-family dwellings shall meet the general Special Use criteria established in Section 5.01: Special Use and shall meet either of the following standards:

### 1. Townhomes

- a. Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b. There shall be a maximum of six dwelling units in any single building.
- c. Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 1.

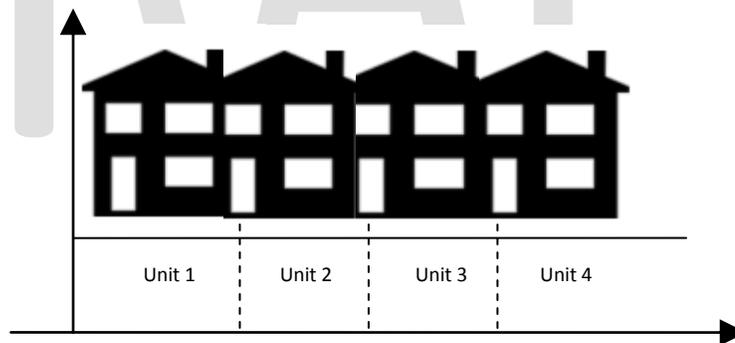


Figure 1: Horizontal, Linear Arrangement

- d. Each dwelling unit shall have at least one separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- e. Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f. Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide 15% door and window fenestration on exterior walls.
- g. Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- h. There shall be a minimum of forty (40) feet of separation between buildings.

- i. The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
  - j. Parking areas, including garages, shall be located in the rear of the building.
  - k. A five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
  - l. Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
  - m. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
  - n. If the development site abuts one or more side street, access must be taken from a side street, rather than from an arterial or collector road.
2. Condominiums Associated with Nonresidential Uses
- a. Dwelling units shall be located on the second floor of a building in which the first floor is occupied by one or more nonresidential uses.

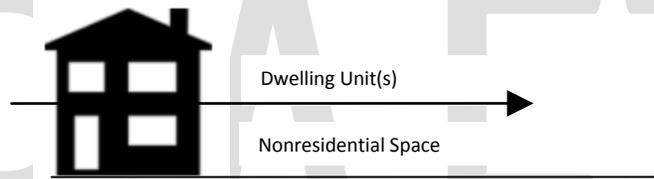


Figure 2: Mixed-use Arrangement

- b. Each individual dwelling unit must be owned independently.
  - c. All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- I. **Signage**

New ground signs must be monument style signs with a masonry base.

**J. Vet Clinics with Animal Boarding**

- 1. Animal Hospitals or Veterinarian Clinics with Animal Boarding must adhere to the following standards:
  - a. All boarding activities must remain completely indoors.
  - b. A soundproofing plan will be required for all buildings being utilized as part of the boarding activities.
  - c. An approval letter from the sewer provider is required prior to any approvals being issued.

## DRAFT GRASSLAND VILLAGE DIMENSIONAL STANDARDS – RESIDENTIAL

|  |   | CHARACTER AREA 1 | CHARACTER AREA 2   |                | CHARACTER AREA 3 | CHARACTER AREA 4 |  |             |              |
|--|---|------------------|--|----------------|------------------|------------------|--|-------------|--------------|
|  |   |                  | LOTS ABUTTING HILLSBORO RD   | ALL OTHER LOTS |                  |                  |  |             |              |
| <b>MINIMUM LOT AREA</b>                  |   | 1 AC             | 1 AC   | 20,000 SF      | 1 AC             |                  | 1 ACRE                                 |             |              |
| <b>MAXIMUM GROSS RESIDENTIAL DENSITY</b> | <b>SINGLE FAMILY DWELLINGS</b>                    | 1 UNIT/ACRE      | 1 UNIT/ACRE  | 2 UNITS/ACRE   | 1 UNIT/ACRE      |                  | 1 UNIT/ACRE                            |             |              |
|  | <b>TOWNHOMES AND/OR CONDOMINIUMS</b>              | NOT PERMITTED    | NOT PERMITTED  | NOT PERMITTED  | TOWNHOMES        | 3 UNITS/ACRE     | TOWNHOMES                              | Slopes <15% | 6 UNITS/ACRE |
|  |   |                  |  |                |                  |                  |  | Slopes >15% | 2 UNITS/ACRE |
|  |   |                  |  |                |                  |                  | CONDOMINIUMS ABOVE NONRESIDENTIAL USES | Slopes <15% | 6 UNITS/ACRE |
| <b>MINIMUM LOT WIDTH</b>                 | <b>TRADITIONAL SUBDIVISIONS 1-2.99 AC</b>         | 130 FT           | 150 FT   | 60 FT          | 130 FT           |                  | 130 FT                                 |             |              |
|  | <b>TRADITIONAL SUBDIVISIONS 3-4.99 AC</b>         | 160 FT           |  |                | 160 FT           |                  | 160 FT                                 |             |              |
|  | <b>TRADITIONAL SUBDIVISIONS GREATER THAN 5 AC</b> | 200 FT           |  |                | 150 FT           | 200 FT           |  | 200 FT      |              |
| <b>MINIMUM FRONT YARD SETBACK</b>        | <b>TRADITIONAL SUBDIVISION 1-4.99 AC</b>          | 60 FT            | 20 FT, WITH A MAX DISTANCE OF 40 FT  |                | 50 FT            |                  | 30 FT                                  |             |              |
|  | <b>TRADITIONAL SUBDIVISIONS GREATER THAN 5 AC</b> | 100 FT           | (SEE ATTACHED CA2 STANDARDS, LETTER B, #3,4)                                 |                |                  |                  |  |             |              |
| <b>MINIMUM SIDE YARD SETBACK</b>         |   | 20 FT            | 5 FT;<br>20 FT ON CORNER LOTS;<br>(SEE ATTACHED CA2 STANDARDS, LETTER B, #3) |                | 20 FT            |                  | 20 FT                                  |             |              |
| <b>MINIMUM REAR YARD SETBACK</b>         |   | 60 FT            | 30 FT  |                | 50 FT            |                  | 30 FT                                  |             |              |
| <b>MAXIMUM BUILDING HEIGHT</b>           |   | 2 STORIES        | 2 STORIES  |                | 2 STORIES        |                  | 2 STORIES                              |             |              |

## DRAFT GRASSLAND VILLAGE DIMENSIONAL STANDARDS - NONRESIDENTIAL

|                            | CHARACTER AREA 1 | CHARACTER AREA 2  |                | CHARACTER AREA 3 | CHARACTER AREA 4           |                |
|----------------------------|------------------|---|----------------|------------------|----------------------------|----------------|
|                            |                  | LOTS ABUTTING HILLSBORO RD  | ALL OTHER LOTS |                  | LOTS ABUTTING HILLSBORO RD | ALL OTHER LOTS |
| MINIMUM LOT AREA           | 1 AC             | 1 AC  | 20,000 SF      | 1 AC             | 20,000 SF                  |                |
| MINIMUM LOT WIDTH          | 130 FT           | 150 FT  | 60 FT          | 130 FT           | 60 FT                      |                |
| MINIMUM FRONT YARD SETBACK | 60 FT            | 20 FT WITH A MAX DISTANCE OF 30 FT;<br>(SEE ATTACHED CA2 STANDARDS, LETTER B, #3,4) |                | 50 FT            | 25 FT                      | 15 FT          |
| MINIMUM SIDE YARD SETBACK  | 35 FT            | 5 FT;<br>20 ON CORNER LOTS<br>(SEE ATTACHED CA2 STANDARDS, LETTER B, #3)            |                | 20 FT            | 5 FT;<br>20 ON CORNER LOTS |                |
| MINIMUM REAR YARD SETBACK  | 60 FT            | 30 FT   |                | 50 FT            | 30 FT                      |                |
| MAXIMUM BUILDING SIZE      | 1-STORY          | N/A   | 10,000 SF      | N/A              | N/A                        |                |
|                            | 2-STORY          |   | 15,000 SF      |                  |                            |                |
| MAXIMUM BUILDING FOOTPRINT | 1-STORY          | N/A   | N/A            | N/A              | 25,000 SF                  |                |
|                            | 2-STORY          |   | 7,500 SF       |                  |                            |                |
| MAXIMUM BUILDING HEIGHT    | 2 STORIES        | 2 STORIES   |                | 2 STORIES        | 2 STORIES                  |                |