

Rogers C. Anderson
Williamson County Mayor



Planning Department
Michael Matteson, Director

WILLIAMSON COUNTY GOVERNMENT

MEMORANDUM

TO: Williamson County Regional Planning Commission
FROM: Mike Matteson, AICP, Planning Director 
DATE: September 30, 2020
SUBJECT: Maps Related to Item 36

Item 36 on the October agenda is a Map Amendment changing the zoning of parcels within the RP-1, RD-1 and SIC districts to RD-5 or RP-5 per the recommendation of the recently adopted Comprehensive Land Use Plan. Attached to the Staff Report for this Item are existing and proposed zoning maps. These maps are in an 11X17 format so that they can be included in the agenda packets.

I will be emailing you a digital version of these maps which will allow you to focus in on individual parcels. Additionally, a large set of existing and proposed zoning maps are available in the Planning Department office should you wish to view these prior to the meeting.

ORDER OF BUSINESS

WILLIAMSON COUNTY REGIONAL PLANNING COMMISSION

1. Call to order
2. Roll Call
3. Announcements
4. Consideration of Minutes
5. Consideration of Consent Agenda
6. Presentation of Agenda Items for Discussion and Action
7. Other Business

**MINUTES OF THE
WILLIAMSON COUNTY REGIONAL PLANNING COMMISSION
MEETING OF SEPTEMBER 10, 2020**

MEMBERS PRESENT

John Lackey, Chairman
Robin Baldree
Don Crohan
Sharon Hatcher
Beth Lothers
Keith McCord
Bryan Richter
Rhonda Rose
Eddie Sanders

STAFF PRESENT

Joe Horne, Community Development Director
Michael Matteson, Planning Director
Floyd Heflin, County Engineer
William Andrews, County Engineer Assistant
Kristi Ransom, Attorney
Aaron Holmes, Planning Coordinator
Lincoln Sweet, Planner
Geovanna Torres, Planner
Christina Collins, Planning Assistant

The Williamson County Regional Planning Commission met in regular session Thursday, September 10, 2020 at 5:30 p.m. via GoToMeeting, online video conferencing. Commissioners Lane and McCoy were unable to attend.

Chairman Lackey called the meeting to order and asked Mike Matteson to call the roll.

Noting there was a quorum, Chairman Lackey asked for a motion to hold the Planning Commission meeting electronically due to the COVID-19 crisis.

A motion to conduct the Planning Commission meeting electronically due to the necessity caused by the COVID-19 crisis was made by Commissioner Crohan. The motion was seconded by Commissioner Richter, and passed by unanimous roll call vote.

Mr. Matteson announced the following:

1. Announcement of a joint Workshop with the County Commission and Planning Commission on September 22, 2020 at 5:30pm via Webex; and
2. Revised reports for Items 28 and 29.

CONSIDERATION OF AUGUST 2020 MINUTES:

Chairman Lackey asked for a motion to consider the minutes of the August 13, 2020 Planning Commission meeting.

A motion to approve the August 13, 2020 Minutes was made by Commissioner Crohan. The motion was seconded by Commissioner Baldree, and passed by unanimous roll call vote.

CONSENT AGENDA:

Commissioner McCord Stated that he is recusing himself from the Consent Agenda; Chairman Lackey asked if any of the Commissioners would like to consider an Item for separate discussion from the Consent Agenda. Hearing none, Mr. Horne read the following into the record:

3. **Belle Vista, Section 3** – Maintenance Bond for Roads, Drainage and Erosion Control - \$200,000
Recommendation: Extend in the current amount for one (1) year.
4. **Burning Tree Farms, Section 2** – Performance Bond for Roads, Drainage and Erosion Control - \$198,000
Recommendation: Extend in the current amount for one (1) year.

5. ~~**Cartwright Close**~~ — Maintenance Bond for Roads, Drainage and Erosion Control — \$
~~**Recommendation:** WITHDRAWN~~
6. **Falls Grove, Section 2** – Maintenance Bond for Roads, Drainage and Erosion Control - \$250,000
Recommendation: Extend in the current amount for one (1) year.
7. **Farms at Clovercroft, Section 2** – Maintenance Bond for Roads, Drainage and Erosion Control - \$225,000
Recommendation: Extend in the current amount for one (1) year.
8. **Farms at Clovercroft, Section 3** – Maintenance Bond for Roads, Drainage and Erosion Control – \$310,000
Recommendation: Extend in the current amount for one (1) year.
9. **Farms at Clovercroft, Section 3** – Maintenance Bond for Water (N/CG) - \$11,625
Recommendation: Release the bond.
10. **Foxen Canyon, Section 1** - Maintenance Bond for Roads, Drainage and Erosion Control - \$300,000
Recommendation: Extend in the current amount for one (1) year.
11. **Foxen Canyon, Section 2** - Performance Bond for Sewer (Harpeth) – \$224,735
Recommendation: Reduce to maintenance in the amount of \$67,400 for six (6) months.
12. **Foxen Canyon, Section 2** - Maintenance Bond for Roads, Drainage and Erosion Control – \$271,000
Recommendation: Extend in the current amount for one (1) year.
13. **Foxen Canyon, Section 2** – Maintenance Bond for Water (Mallory) – \$31,514.69
Recommendation: Release the bond.
14. **McDaniel Estates, Section 1** – Performance Bond for Wastewater Collection System – \$169,000
Recommendation: Extend in the current amount for one (1) year.
15. **McDaniel Estates, Section 1** – Performance Bond for Roads, Drainage and Erosion Control – \$550,000
Recommendation: Extend in the current amount for one (1) year.
16. **McDaniel Farms, Section 1** – Maintenance Bond for Roads, Drainage and Erosion Control – \$430,000
Recommendation: Extend in the current amount for one (1) year.
17. **McDaniel Farms, Section 1** – Performance Bond for Wastewater Collection System – \$169,000
Recommendation: Extend in the current amount for one (1) year.
18. **McDaniel Farms, Section 1** – Maintenance Bond for Water (Milcrofton) – \$79,350
Recommendation: Extend in the current amount for one (1) year.
19. **Southall Rural Retreat** – Performance Bond for Landscaping – \$77,500
Recommendation: Extend in the current amount for six (6) months.

20. **Southall Rural Retreat WW Area** – Performance Bond for Wastewater Treatment and Disposal System – \$124,700
Recommendation: Extend in the current amount for one (1) year.
21. **Southall Rural Retreat WW Area** – Performance Bond for Wastewater Collection System – \$409,000
Recommendation: Extend in the current amount for one (1) year.
22. **Southall Rural Retreat WW Area** – Performance Bond for Landscaping – \$29,645
Recommendation: Extend in the current amount for six (6) months.
23. **Swanson Ridge, Section 1** – Performance Bond for Landscaping – \$60,000
Recommendation: Extend in the current amount for six (6) months.
24. **Swanson Ridge, Section 1** – Performance Bond for Roads, Drainage and Erosion Control – \$521,000
Recommendation: Extend in the current amount for one (1) year.
25. **Waterleaf, Section 1** – Maintenance Bond for Roads, Drainage and Erosion Control – \$300,000
Recommendation: Extend in the current amount for one (1) year.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on the Consent Agenda. Commissioner Richter seconded the motion, and the motion passed 7-0 by roll call vote with Commissioner McCord recused.

OLD BUSINESS:

ITEM 26

FINAL PLAT REVIEW FOR HILLSBORO MANOR, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 3 LOTS ON 15.26 ACRES LOCATED OFF OLD HILLSBORO ROAD IN THE 9TH VOTING DISTRICT (1-2020-415)

Mr. Sweet reviewed the background (see Staff Report), and noted that the applicant requested action on this Item be deferred until the October 2020 meeting. Staff concurred with this request.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 26. Commissioner Richter seconded the motion, and the motion passed by unanimous roll call vote.

ITEM 27

FINAL PLAT REVIEW FOR PEYTONSVILLE ESTATES, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 6 LOTS ON 34.57 ACRES LOCATED OFF PEYTONSVILLE-ARNO ROAD IN THE 2ND VOTING DISTRICT (1-2020-421)

Mr. Sweet reviewed the background (see Staff Report), and noted that the applicant requested action on this Item be deferred until the October 2020 meeting. Staff concurred with this request.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 27. Commissioner Lothers seconded the motion, and the motion passed by unanimous roll call vote.

ITEM 28

CONCEPT PLAN REVIEW FOR HIGH PARK HILL, CONTAINING 157 LOTS ON 161.03 ACRES LOCATED OFF OF MURFREESBORO ROAD IN THE 5TH VOTING DISTRICT (1-2020-204)

Mr. Holmes reviewed the background (see Staff Report), and recommended that action on this Item be deferred to the October 2020 meeting in order to advertise the re-opened Public Hearing per the recommendation of the County Attorney.

There being no comments, Commissioner Lothers made a motion to accept Staff's recommendation on Item 28. Commissioner Crohan seconded the motion, and the motion passed by unanimous roll call vote.

ITEM 29

CONCEPT PLAN REVIEW FOR DUQUETTE PROPERTY, CONTAINING 128 LOTS ON 143.3 ACRES LOCATED OFF OF GOSEY HILL ROAD IN THE 12TH VOTING DISTRICT (1-2020-205)

Commissioner Hatcher stated that she is recusing from this item. Mr. Holmes reviewed the background (see Staff Report), and recommended that action on this Item be deferred to the October 2020 meeting to provide sufficient time for the traffic analysis to be revised using current traffic counts. Additionally, per the recommendation of the County Attorney in order to advertise the Public Hearing which will be re-opened at the October 2020 meeting.

There being no comments, Commissioner Lothers made a motion to accept Staff's recommendation on Item 29. Commissioner Crohan seconded the motion, and the motion passed 7-0 by roll call vote with Commissioner Hatcher recused.

NON-RESIDENTIAL SITE PLANS:

ITEM 30

NON-RESIDENTIAL SITE PLAN REVIEW FOR REDEMPTION CITY CHURCH, ON 30.91 ACRES LOCATED OFF CLOVERCROFT ROAD IN THE 4TH VOTING DISTRICT (5-2020-013)

Mr. Holmes reviewed the background (see Staff Report), and noted that the applicant requested action on this Item be deferred until the October 2020 meeting. Staff concurred with this request.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 30. Commissioner Richter seconded the motion, and the motion passed by unanimous roll call vote.

FINAL PLATS:

ITEM 31

FINAL PLAT REVIEW FOR FALLS GROVE, SECTION 7, (RE-APPROVAL) CONTAINING 24 LOTS ON 17.85 ACRES LOCATED OFF OF EUDAILEY-COVINGTON ROAD IN THE 5TH VOTING DISTRICT (1-2020-407)

Mr. Holmes reviewed the background (see Staff Report), and Staff recommended re-approval of this Final Plat with the same conditions that were established with the original approval from the May 2020 Planning Commission meeting.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 31. Commissioner Richter seconded the motion, which passed by unanimous roll call vote.

ITEM 32

FINAL PLAT REVIEW FOR BROOKLANDS, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 4 LOTS ON 25.54 ACRES LOCATED OFF PEYTONSVILLE-TRINITY ROAD IN THE 12TH VOTING DISTRICT (1-2020-424)

Mr. Sweet reviewed the background (see Staff Report), and noted that the applicant requested action on this Item be deferred until the October 2020 meeting. Staff concurred with this request.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 32. Commissioner Richter seconded the motion, and the motion passed by unanimous roll call vote.

ITEM 33

FINAL PLAT REVIEW FOR ABERLEIGH, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 4 LOTS ON 22 ACRES LOCATED OFF PEYTONSVILLE-TRINITY ROAD IN THE 12TH VOTING DISTRICT (1-2020-425)

Mr. Sweet reviewed the background (see Staff Report), and noted that the applicant requested action on this Item be deferred until the October 2020 meeting. Staff concurred with this request.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 33. Commissioner Richter seconded the motion, and the motion passed by unanimous roll call vote.

ITEM 34

FINAL PLAT REVIEW FOR CAYMUS SUBDIVISION, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 5 LOTS ON 29.17 ACRES LOT OFF SOUTH CAROTHERS ROAD IN THE 4TH VOTING DISTRICT (1-2020-416)

Mr. Sweet reviewed the background (see Staff Report), and noted that the applicant requested action on this Item be deferred until the October 2020 meeting. Staff concurred with this request.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 34. Commissioner Richter seconded the motion, and the motion passed by unanimous roll call vote.

OTHER BUSINESS:

ITEM 35

ESTABLISHMENT OF A PERFORMANCE BOND FOR LANDSCAPING IMPROVEMENTS FOR CEDARMONT FARMS, RURAL RETREAT, ON 40.05 ACRES LOCATED OFF CEDARMONT DRIVE IN THE 12TH VOTING DISTRICT (5-2020-012)

Mr. Holmes reviewed the background (see Staff Report), and recommended establishment of a Performance Bond for landscaping improvements in the amount of \$1,485.

There being no comments, Commissioner Crohan made a motion to accept Staff's recommendation on Item 35. Commissioner Richter seconded the motion, and the motion passed by unanimous roll call vote.

There being no further business, the meeting was adjourned at approximately 6:06p.m.

APPROVED BY A MAJORITY VOTE BY THE WILLIAMSON COUNTY REGIONAL PLANNING COMMISSION ON OCTOBER 8, 2020.

_____ CHAIRMAN JOHN LACKEY

CONSENT AGENDA
WILLIAMSON COUNTY REGIONAL PLANNING COMMISSION
Williamson County Administrative Complex
October 8, 2020

BONDS:

3. **Clovercroft Preserve, Section 2** – Maintenance Bond for Water - \$14,625
Recommendation: Release the bond.
4. **Falls Grove, Section 5** – Performance Bond for Roads, Drainage and Erosion Control - \$400,000
Recommendation: Reduce to maintenance in the amount of \$225,000 for one (1) year.
5. **Farms at Clovercroft, Section 3** – Performance Bond for Wastewater Collection System - \$116,000
Recommendation: Extend in the current amount for one (1) year.
6. **McDaniel Estates, Section 1** – Maintenance Bond for Water (Milcrofton) - \$38,200
Recommendation: Defer to December 2020 meeting.
7. **McDaniel Farms, Section 2** – Performance Bond for Roads, Drainage and Erosion Control - \$853,000
Recommendation: Reduce to the amount of \$426,000 and extend for one (1) year.
8. **McDaniel Farms, Section 2** – Maintenance Bond for Landscaping – \$1,500
Recommendation: Release the bond.
9. **The Grove, Section 8** – Performance Bond for Wastewater Collection System - \$20,200
Recommendation: Extend in the current amount for one (1) year.
10. **The Grove, Section 9** – Performance Bond for Wastewater Collection System - \$166,200
Recommendation: Extend in the current amount for one (1) year.
11. **The Grove, Section 11** – Maintenance Bond for Water – \$99,400
Recommendation: Release the bond.
12. **The Grove, Section 11** – Performance Bond for Wastewater Collection System – \$186,500
Recommendation: Extend in the current amount for one (1) year.
13. **The Grove, Section 12** – Performance Bond for Wastewater Collection System – \$20,300
Recommendation: Extend in the current amount for one (1) year.
14. **The Grove, Section 12** – Performance Bond for Water (Milcrofton) – \$26,100
Recommendation: Release the bond on October 28, 2020.
15. **The Grove, Section 13** – Performance Bond for Water (Milcrofton) – \$66,800
Recommendation: Release the bond.
16. **The Grove, Section 13** – Performance Bond for Wastewater Collection System – \$215,000
Recommendation: Extend in the current amount for one (1) year.
17. **The Grove, Section 13** – Performance Bond for Roads, Drainage and Erosion Control – \$832,000
Recommendation: Reduce to maintenance in the amount of \$300,000 and extend for one (1) year.
18. **Tri-Star Market Triune** – Performance Bond for Landscaping – \$23,485
Recommendation: Reduce to maintenance in the amount of \$7,000 and extend for six (6) months.
19. **Troubadour, Section 4** – Performance Bond for Wastewater Collection System – \$74,250
Recommendation: Extend in the current amount for one (1) year.

- 20. **Troubadour, Section 4** – Performance Bond for Roads, Drainage and Erosion Control – \$520,000
Recommendation: Extend in the current amount for one (1) year.
- 21. **Vineyard Valley, Section 1** – Performance Bond for Wastewater Collection System – \$80,000
Recommendation: Extend in the current amount for one (1) year.
- 22. **Vineyard Valley, Section 1** – Performance Bond for Roads, Drainage and Erosion Control – \$711,000
Recommendation: Reduce to maintenance in the amount of \$325,000 and extend for one (1) year.
- 23. **Vineyard Valley, Section 3** – Performance Bond for Water (Milcrofton) – \$35,000
Recommendation: Release the bond on October 11, 2020.
- 24. **Vineyard Valley, Section 3** – Performance Bond for Landscaping – \$43,450
Recommendation: Reduce to maintenance in the amount of \$13,000 and extend for six (6) months.
- 25. **Vineyard Valley, Section 3** – Performance Bond for Wastewater Collection System – \$80,600
Recommendation: Extend in the current amount for one (1) year.
- 26. **Vineyard Valley, Section 3** – Performance Bond for Roads, Drainage and Erosion Control – \$637,000
Recommendation: Extend in the current amount for one (1) year.

MOTION TO ACCEPT STAFF RECOMMENDATION

_____ 2nd _____ VOTE: _____

NOTE: All matters listed under the consent agenda are considered to be routine. There will be no separate discussion of these items unless a Planning Commission member so requests, in which case it will be removed from the consent agenda so that discussion may be held on that item.

AGENDA
WILLIAMSON COUNTY REGIONAL PLANNING COMMISSION
Williamson County Administrative Complex
October 8, 2020 at 5:30 p.m.

In accordance with Executive Order No. 16 issued by Governor Lee on March 20, 2020, extended by Executive Order No. 60, authorizing public meetings to be conducted electronically, the October 8 meeting of the Williamson County Regional Planning Commission will be held electronically at 5:30 p.m. As such, there will not be a "physical meeting" at the County Administrative Complex; however there will be a series of public hearings as a part of this meeting that will be held live at in the Auditorium of the Williamson County Administrative Complex. The meeting will be broadcast on Comcast Channel 3, Charter Channel 192, AT&T Channel 99, and United Communications Channel 207. The public may also access the meeting through YouTube at <http://www.youtube.com/user/wctvnet/live>.

Communications in writing to the Planning Commission may be submitted to the Planning Department or by emailing the Planning Commission at planningcommission@williamsoncounty-tn.gov no later than 12:00 p.m./Noon on Monday, October 5, 2020. Any written communication received after 12:00 p.m./Noon on Monday, October 5, 2020 will not be considered as part of the record, and will not be transmitted to the Planning Commission.

Please note: Those wishing to speak during a public hearing must sign in. Sign-in Sheets will be made available thirty (30) minutes before the meeting and will be picked up promptly at 5:30 p.m. There will be a thirty (30) minute time limit which will be allocated according to the number of people wishing to speak, with each speaker having no more than three (3) minutes. The time allocated to each speaker may be reduced based on the number of people wishing to speak.

MINUTES:

1. Approval of September 10, 2020 Minutes

CONSENT AGENDA:

2. Consent Agenda

BONDS:

3. Clovercroft Preserve, Section 2 – Maintenance Bond for Water (N/CG) located off Clovercroft Road.
4. Falls Grove, Section 5 – Performance Bond for Roads, Drainage and Erosion Control located off Eudailey Covington Road.
5. Farms at Clovercroft, Section 3 – Performance Bond for Wastewater Collection System located off Clovercroft Road.
6. McDaniel Estates, Section 1 – Maintenance Bond for Water (Milcrofton) located off McDaniel Road.

7. McDaniel Farms, Section 2 – Performance Bond for Roads, Drainage and Erosion Control located off McDaniel Road.
8. McDaniel Farms, Section 2 – Maintenance Bond for Landscaping located off McDaniel Road.
9. The Grove, Section 8 – Performance Bond for Wastewater Collection System located off Arno Road.
10. The Grove, Section 9 – Performance Bond for Wastewater Collection System located off Arno Road.
11. The Grove, Section 11 – Maintenance Bond for Water (Milcrofton) located off Arno Road.
12. The Grove, Section 11 – Performance Bond for Wastewater Collection System located off Arno Road.
13. The Grove, Section 12 – Performance Bond for Wastewater Collection System located off Arno Road.
14. The Grove, Section 12 – Performance Bond for Water (Milcrofton) located off Arno Road.
15. The Grove, Section 13 – Performance Bond for Water (Milcrofton) located off Arno Road.
16. The Grove, Section 13 – Performance Bond for Wastewater Collection System located off Arno Road.
17. The Grove, Section 13 – Performance Bond for Roads, Drainage and Erosion Control located off Arno Road.
18. Tri-Star Market Triune – Performance Bond for Landscaping located off Horton Hwy.
19. Troubadour, Section 4 – Performance Bond for Wastewater Collection System located off Cox Road.
20. Troubadour, Section 4 – Performance Bond for Roads, Drainage and Erosion Control located off Cox Road.
21. Vineyard Valley, Section 1 – Performance Bond for Wastewater Collection System located off Eudailey Covington Road.
22. Vineyard Valley, Section 1 – Performance Bond for Roads, Drainage and Erosion Control located off Eudailey Covington Road.
23. Vineyard Valley, Section 3 – Performance Bond for Water (Milcrofton) located off Eudailey Covington Road.

24. Vineyard Valley, Section 3 – Performance Bond for Landscaping located off Eudailey Covington Road.
25. Vineyard Valley, Section 3 – Performance Bond for Wastewater Collection System located off Eudailey Covington Road.
26. Vineyard Valley, Section 3 – Performance Bond for Roads, Drainage and Erosion Control located off Eudailey Covington Road.

OLD BUSINESS:

27. Final Plat Review for Hillsboro Manor, Large Lot Easement Subdivision, containing 3 lots on 15.26 acres located off Old Hillsboro Road in the 9th Voting District (1-2020-415).
28. Final Plat Review for Peytonsville Estates, Large Lot Easement Subdivision, containing 6 lots on 46.66 acres located off Peytonsville-Arno Road in the 2nd Voting District (1-2020-421).
29. Final Plat Review for Brooklands, Large Lot Easement Subdivision, containing 4 lots on 25.55 acres located off Peytonsville-Trinity Road in the 12th Voting District (1-2020-424).
30. Final Plat Review for Aberleigh, Large Lot Easement Subdivision, containing 4 lots on 22 acres located off Peytonsville-Trinity Road in the 12th Voting District (1-2020-425).
31. Final Plat Review for Caymus Subdivision, containing 5 lots on 29.17 acres located off South Carothers Road in the 4th Voting District (1-2020-426).
32. Non-Residential Site Plan Review for Redemption City Church, on 30.91 acres located off Clovercroft Road in the 4th Voting District (5-2020-013).

PUBLIC HEARING:

33. Concept Plan Review for Duquette Property, containing 128 lots on 143.3 acres located off of Gosey Hill Road in the 12th Voting District (1-2020-205). (Public hearing continued from August 13, 2020.)
34. Concept Plan Review for High Park Hill, containing 157 lots on 161.03 acres located off of Murfreesboro Road in the 5th Voting District (1-2020-204). (Public hearing continued from August 13, 2020.)
35. Amendment to the Williamson County Zoning Ordinance regarding the creation of, and standards for the Triune Character Area-1 (TCA-1), Triune Character Area-2 (TCA-2), Triune Character Area-3 (TCA-3) and Triune Character Area-4 (TCA-4) Zoning Districts and amendment to the Official Zoning Map to apply the Triune Character Area-1 (TCA-

1), Triune Character Area-2 (TCA-2), Triune Character Area-3 (TCA-3) and Triune Character Area-4 (TCA-4) Zoning Districts.

36. Amendment to the Williamson County Official Zoning Map Expanding the Rural Preservation – 5 (RP-5) and Rural Development – 5 (RD-5) Zoning Districts to implement the recommendations of the recently adopted Comprehensive Land Use Plan.

37. Amendment to Article 4 of the Williamson County Zoning Ordinance regarding Transitional Rules for Amendments.

38. Amendment to Articles 10 and 12 of the Williamson County Zoning Ordinance regarding requirements for Conservation Subdivisions.

39. Amendment to Articles 17, 19, and 23 of the Williamson County Zoning Ordinance regarding Road Capacity Adjustment (Traffic Sheds).

40. Amendment to Articles 11 and 23 of the Williamson County Zoning Ordinance regarding Family Subdivisions.

NON-RESIDENTIAL SITE PLANS:

41. Non-Residential Site Plan Review for The Grove – Green Cottages, on 208 acres located off Wildings Boulevard in the 2nd Voting District (5-2020-014).

FINAL PLAT:

42. Final Plat Review for Property of Robert Wilson Lots 1 & 2, Large Lot Easement Subdivision, containing 2 lots on 14.90 acres located off Smithson Road in the 2nd Voting District (1-2020-428).

43. Final Plat Review for The Mill at Bond Springs, Section 2, containing 29 lots on 57.88 acres located off Bethesda Road in the 2nd Voting District (1-2020-429).

OTHER BUSINESS:

44. Establishment of a Landscaping Bond for Landscaping Improvements for New River Fellowship, on 5.12 acres located off Lewisburg Pike in the 2nd Voting District (5-2020-015).

ITEM 3

NAME: CLOVERCROFT PRESERVE, SECTION 2

BOND TYPE: MAINTENANCE BOND FOR WATER

LOCATION: CLOVERCROFT ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
August 2018	Performance Water	Implemented	\$97,500
October 2019	Performance Water	Reduce to Maint & Extend	\$14,625

LAST ACTION: At the October 2019 meeting, this body granted approval to reduce this bond to maintenance in the amount of \$14,625 for a period of one (1) year.

RECOMMENDATION: Nolensville College Grove Utility District is requesting this bond be released. Staff concurs with this request.

CURRENT

\$14,625
Maintenance

RECOMMENDED

Release

REVIEWER: DS
DATE: 10/08/2020

ITEM 4

NAME: FALLSGROVE, SECTION 5

BOND TYPE: PERFORMANCE BOND FOR ROADS, DRAINAGE AND EROSION CONTROL

LOCATION: EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2018	Performance RDE	Implemented	\$400,000
October 2019	Performance RDE	Extend	\$400,000

LAST ACTION: At the October 2019 meeting, this body granted approval to extend this bond in the current amount for a period of one (1) year.

RECOMMENDATION: Staff visited the site and noted that some improvements have been made. Staff recommends that this bond be converted to maintenance in the amount of \$225,000 and extended for a period of one (1) year.

CURRENT

\$400,000
Performance

RECOMMENDED

\$225,000
Maintenance

REVIEWER: WA
DATE: 10/08/2020

ITEM 5

NAME: FARMS AT CLOVERCROFT, SECTION 3

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: CLOVERCROFT ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2017	Performance WW Collection System	Implemented	\$116,000
September 2018	Performance WW Collection System	Extend	\$116,000
April 2019	Performance WW Collection System	Extend	\$116,000
April 2020	Performance WW Collection System	Extend	\$116,000

LAST ACTION: At the April 2020 meeting, this body granted approval to extend this bond in the current amount for a period of six (6) months to allow time for the requisite letters to be received.

RECOMMENDATION: At this writing, we are not in receipt of the above noted letters; accordingly, it is recommended that this bond be extended in its current amount for a period of one (1) year.

CURRENT

\$116,000
Performance

RECOMMENDED

\$116,000
Performance

REVIEWER: JH
DATE: 10/08/2020

ITEM 6

NAME: MCDANIEL ESTATES, SECTION 1

BOND TYPE: MAINTENANCE BOND FOR WATER (MILCROFTON)

LOCATION: CLOVERCROFT ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
August 2018	Performance Water	Implemented	\$255,000
September 2019	Performance Water	Defer	\$255,000
October 2019	Performance Water	Reduce to Maint & Extend	\$38,200

LAST ACTION: At the October 2019 meeting, this body granted approval to reduce this bond to maintenance in the amount of \$38,200 for a period of one (1) year.

RECOMMENDATION: Milcrofton Utility District has stated this bond will be released on 11/27/20 if the work is complete. Staff recommends this be deferred until the December 2020 meeting.

CURRENT

\$38,200
Maintenance

RECOMMENDED

Defer

REVIEWER: DS
DATE: 10/08/2020

ITEM 7

NAME: MCDANIEL FARMS, SECTION 2

BOND TYPE: PERFORMANCE BOND FOR ROADS, DRAINAGE AND EROSION CONTROL

LOCATION: MCDANIEL ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2018	Performance RDE	Implemented	\$853,000
October 2019	Performance RDE	Extend	\$853,000

LAST ACTION: At the October 2019 meeting, this body granted approval to extend this bond in the current amount for a period of one (1) year.

RECOMMENDATION: Staff visited the site and noted that some improvements have been made. Staff recommends that this bond be reduced to an amount of \$426,000 and extended for a period of one (1) year.

CURRENT

\$853,000
Performance

RECOMMENDED

\$426,000
Performance

REVIEWER: WA
DATE: 10/08/2020

ITEM 8

NAME: MCDANIEL FARMS, SECTION 2

BOND TYPE: MAINTENANCE BOND FOR LANDSCAPING

LOCATION: MCDANIEL ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2018	Performance Landscaping	Implemented	\$4,125
October 2019	Performance Landscaping	Extend	\$4,125
April 2020	Performance Landscaping	Reduce to Maint & Extend	\$1,500

LAST ACTION: At the April 2020 meeting, this body granted approval to reduce this bond to maintenance in the amount of \$1,500 for a period of six (6) months.

RECOMMENDATION: Staff visited the site and noted the landscaping survived the maintenance period. Staff recommends this bond be released.

CURRENT

\$1,500
Maintenance

RECOMMENDED

Release

REVIEWER: DS
DATE: 04/09/2020

ITEM 9

NAME: THE GROVE, SECTION 8

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2016	Performance WW Collection	Implemented	\$20,200
September 2017	Performance WW Collection	Extend	\$20,200
March 2018	Performance WW Collection	Extend	\$20,200
September 2018	Performance WW Collection	Extend	\$20,200
April 2019	Performance WW Collection	Extend	\$20,200
October 2019	Performance WW Collection	Extend	\$20,200
April 2020	Performance WW Collection	Extend	\$20,200

LAST ACTION: At the April 2020 meeting, this body granted approval to extend this bond in the current amount for a period of six (6) months.

RECOMMENDATION: At this writing, we are not in receipt of the requisite certification letters; accordingly, it is recommended that this bond be extended in its current amount for one (1) year.

CURRENT

\$20,200
Performance

RECOMMENDED

\$20,200
Performance

Reviewer: JH
Date: 10/08/2020

ITEM 10

NAME: THE GROVE, SECTION 9

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF MURFREESBORO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
April 2017	Performance WW Collection	Implemented	\$166,200
April 2018	Performance WW Collection	Extend	\$166,200
April 2019	Performance WW Collection	Extend	\$166,200
April 2020	Performance WW Collection	Extend	\$166,200

LAST ACTION: At the April 2020 meeting, this body granted approval to extend this bond in the current amount for a period of six (6) months.

RECOMMENDATION: Build-out is such that this bond is eligible for conversion; however, the requisite certification letters have not been received. Accordingly, it is recommended that this bond be extended in its current amount for one (1) year.

CURRENT

\$166,200
Performance

RECOMMENDED

\$166,200
Performance

Reviewer: JH
Date: 10/08/2020

ITEM 11

NAME: THE GROVE, SECTION 11

BOND TYPE: MAINTENANCE BOND FOR WATER

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2018	Performance Water	Implemented	\$663,000
October 2019	Performance Water	Reduce to Maint & Extend	\$99,400

LAST ACTION: At the October 2019 meeting, this body granted approval to reduce this bond to maintenance in the amount of \$99,400 for a period of one (1) year.

RECOMMENDATION: Milcrofton Utility District has indicated this bond was released 8/9/2020.

CURRENT

\$99,400
Maintenance

RECOMMENDED

Release

ITEM 12

NAME: THE GROVE, SECTION 11

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2018	Performance WW Collection System	Implemented	\$186,500
October 2019	Performance WW Collection System	Extend	\$186,500
April 2020	Performance WW Collection System	Extend	\$186,500

LAST ACTION: At the April 2020 meeting, this body granted approval to extend this bond in the current amount for a period of six (6) months.

RECOMMENDATION: At this writing, the requisite certification letters have not been received; accordingly, it is recommended that this bond be extended in its current amount for one (1) year.

CURRENT

\$186,500
Performance

RECOMMENDED

\$186,500
Performance

Reviewer: JH
Date: 10/08/2020

ITEM 13

NAME: THE GROVE, SECTION 12

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2019	Performance WW Collection System	Implemented	\$20,300

LAST ACTION: At the October 2019 meeting, this body granted approval of this final plat with the following conditions: 1) Establishment of a performance bond for water improvements in favor of Milcrofton Utility District in the amount of \$26,100; 2) Establishment of a performance bond for the wastewater collection system in the amount of \$20,300; 3) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 4) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: No building permits have been issued to date; accordingly Staff recommends this bond be extended in its current amount for one (1) year.

CURRENT

\$20,300
Performance

RECOMMENDED

\$20,300
Performance

Reviewer: JH
Date: 10/08/2020

ITEM 14

NAME: THE GROVE, SECTION 12

BOND TYPE: PERFORMANCE BOND FOR WATER (MILCROFTON)

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2019	Performance Water	Implemented	\$26,100

LAST ACTION: At the October 2019 meeting, this body granted approval of this final plat with the following conditions: 1) Establishment of a performance bond for water improvements in favor of Milcrofton Utility District in the amount of \$26,100; 2) Establishment of a performance bond for the wastewater collection system in the amount of \$20,300; 3) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 4) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Milcrofton Utility District has indicated the bond will be released on 10/28/2020. Staff concurs with the request.

CURRENT

\$26,100
Performance

RECOMMENDED

Release on 10/28/2020

ITEM 15

NAME: THE GROVE, SECTION 13

BOND TYPE: PERFORMANCE BOND FOR WATER (MILCROFTON)

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2019	Performance Water	Implemented	\$66,800

LAST ACTION: At the October 2019 meeting, this body granted approval of this final plat with the following conditions: 1) Establishment of a performance bond for water improvements in favor of Milcrofton Utility District in the amount of \$66,800; 2) Establishment of a performance bond for the wastewater collection system in the amount of \$215,000; 3) Establishment of a performance bond for Roads, Drainage and Erosion Control in the amount of \$832,000; 4) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 5) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Milcrofton has indicated the bond has been released.

CURRENT

\$66,800
Performance

RECOMMENDED

Release

ITEM 16

NAME: THE GROVE, SECTION 13

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2019	Performance WW Collection System	Implemented	\$215,000

LAST ACTION: At the October 2019 meeting, this body granted approval of this final plat with the following conditions: 1) Establishment of a performance bond for water improvements in favor of Milcrofton Utility District in the amount of \$66,800; 2) Establishment of a performance bond for the wastewater collection system in the amount of \$215,000; 3) Establishment of a performance bond for Roads, Drainage and Erosion Control in the amount of \$832,000; 4) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 5) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Build-out for this section is 34%; however, the requisite certification letters have not been submitted. It is recommended that this bond be extended in its current amount for one (1) year.

CURRENT

\$215,000
Performance

RECOMMENDED

\$215,000
Performance

Reviewer: JH
Date: 10/08/2020

ITEM 17

NAME: THE GROVE, SECTION 13

BOND TYPE: PERFORMANCE BOND FOR ROADS, DRAINAGE AND EROSION CONTROL

LOCATION: OFF ARNO RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2019	Performance RDE	Implemented	\$832,000

LAST ACTION: At the October 2019 meeting, this body granted approval of this final plat with the following conditions: 1) Establishment of a performance bond for water improvements in favor of Milcrofton Utility District in the amount of \$66,800; 2) Establishment of a performance bond for the wastewater collection system in the amount of \$215,000; 3) Establishment of a performance bond for Roads, Drainage and Erosion Control in the amount of \$832,000; 4) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 5) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Staff visited the site and noted that some improvements have been made. Staff recommends that this bond be converted to maintenance in the amount of \$300,000 and extended for a period of one (1) year.

CURRENT

\$832,000
Performance

RECOMMENDED

\$300,000
Maintenance

Reviewer: WA
Date: 10/08/2020

ITEM 18

NAME: TRI-STAR MARKET TRIUNE

BOND TYPE: PERFORMANCE BOND FOR LANDSCAPING

LOCATION: OFF HORTON RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
February 2020	Performance Landscaping	Implemented	\$23,485

LAST ACTION: At the February 2020 meeting, this body approved of the establishment of the landscaping bond for this project in the amount of \$23,485.

RECOMMENDATION: Staff visited the site and noted the landscaping has been installed per the approved plan. Staff recommends this bond be reduced to maintenance in the amount of \$7,000 for a period of six (6) months.

CURRENT

\$23,485
Performance

RECOMMENDED

\$7,000
Maintenance

ITEM 19

NAME: TROUBADOUR, SECTION 4

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF COX RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2018	Performance WW Collection System	Implemented	\$74,250
October 2019	Performance WW Collection System	Extend	\$74,250

LAST ACTION: At the October 2019 meeting, this body granted approval to extend this bond in the current amount for a period of one (1) year.

RECOMMENDATION: At this writing, the build-out is such that it is recommended the bond remain in place in its current amount for one (1) year.

CURRENT

\$74,250
Performance

RECOMMENDED

\$74,250
Performance

ITEM 20

NAME: TROUBADOUR, SECTION 4

BOND TYPE: PERFORMANCE BOND FOR ROADS, DRAINAGE AND EROSION CONTROL

LOCATION: OFF COX RD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
October 2018	Performance RDE	Implemented	\$520,000
October 2019	Performance RDE	Extend	\$520,000

LAST ACTION: At the October 2019 meeting, this body granted approval to extend this bond in the current amount for a period of one (1) year.

RECOMMENDATION: Staff visited the site and noted that some improvements have been made. Staff recommends that this bond be extended in the current amount for a period of one (1) year.

CURRENT

\$520,000
Performance

RECOMMENDED

\$520,000
Performance

ITEM 21

NAME: VINEYARD VALLEY, SECTION 1

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2018	Performance WW Collection System	Implemented	\$80,000
October 2019	Performance WW Collection System	Extend	\$80,000

LAST ACTION: At the October 2019 meeting, this body granted approval to extend this bond in the current amount for a period of one (1) year.

RECOMMENDATION: Build-out is 46%; however, as the requisite certification letters have not been received, it is recommended that this bond be extended in its current amount for one (1) year.

CURRENT

\$80,000
Performance

RECOMMENDED

\$80,000
Performance

ITEM 22

NAME: VINEYARD VALLEY, SECTION 1

BOND TYPE: PERFORMANCE BOND FOR ROADS, DRAINAGE AND EROSION CONTROL

LOCATION: OFF EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2018	Performance RDE	Implemented	\$711,000
October 2019	Performance RDE	Extend	\$711,000

LAST ACTION: At the October 2019 meeting, this body granted approval to extend this bond in the current amount for a period of one (1) year.

RECOMMENDATION: Staff visited the site and noted that some improvements have been made. Staff recommends that this bond be converted to maintenance in the amount of \$325,000 and extended for a period of one (1) year.

<u>CURRENT</u>	<u>RECOMMENDED</u>
\$711,000 Performance	\$325,000 Maintenance

ITEM 23

NAME: VINEYARD VALLEY, SECTION 3

BOND TYPE: PERFORMANCE BOND FOR WATER (MILCROFTON)

LOCATION: OFF EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2019	Performance Water	Implemented	\$35,000

LAST ACTION: At the September 2019 meeting, this body granted approval of this final plat with the following conditions: 1) The posting of a Performance Bond in the amount of \$637,000 for roads, drainage and erosion control; 2) Posting of a Maintenance Bond in the amount of \$35,000 for water improvements as specified by Milcrofton Utility District; 3) The posting of a Performance Bond in the amount of \$80,600 for the wastewater collection system; 4) The posting of a Performance Bond in the amount of \$43,450 for landscaping improvements; 5) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 6) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Milcrofton Utility District has indicated this bond will be released upon its expiration date of 10/11/2020. Staff concurs with this request.

CURRENT

\$35,000
Performance

RECOMMENDED

Release
10/11/2020

ITEM 24

NAME: VINEYARD VALLEY, SECTION 3

BOND TYPE: PERFORMANCE BOND FOR LANDSCAPING

LOCATION: OFF EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2019	Performance Landscaping	Implemented	\$43,450

LAST ACTION: At the September 2019 meeting, this body granted approval of this final plat with the following conditions: 1) The posting of a Performance Bond in the amount of \$637,000 for roads, drainage and erosion control; 2) Posting of a Maintenance Bond in the amount of \$35,000 for water improvements as specified by Milcrofton Utility District; 3) The posting of a Performance Bond in the amount of \$80,600 for the wastewater collection system; 4) The posting of a Performance Bond in the amount of \$43,450 for landscaping improvements; 5) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 6) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Staff visited the site and noted the landscaping has been installed per the approved plan. Staff recommends this bond be reduced to maintenance in the amount of \$13,000 for a period of six (6) months.

<u>CURRENT</u>	<u>RECOMMENDED</u>
\$43,450	\$13,000
Performance	Maintenance

Reviewer: DS
Date: 10/08/2020

ITEM 25

NAME: VINEYARD VALLEY, SECTION 3

BOND TYPE: PERFORMANCE BOND FOR WASTEWATER COLLECTION SYSTEM

LOCATION: OFF EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2019	Performance WW Collection System	Implemented	\$80,600

LAST ACTION: At the September 2019 meeting, this body granted approval of this final plat with the following conditions: 1) The posting of a Performance Bond in the amount of \$637,000 for roads, drainage and erosion control; 2) Posting of a Maintenance Bond in the amount of \$35,000 for water improvements as specified by Milcrofton Utility District; 3) The posting of a Performance Bond in the amount of \$80,600 for the wastewater collection system; 4) The posting of a Performance Bond in the amount of \$43,450 for landscaping improvements; 5) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 6) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: No building permits have been issued in this section; accordingly, Staff recommends that this bond be extended in its current amount for one (1) year.

<u>CURRENT</u>	<u>RECOMMENDED</u>
\$80,600 Performance	\$80,600 Performance

Reviewer: JH
Date: 10/08/2020

ITEM 26

NAME: VINEYARD VALLEY, SECTION 3

BOND TYPE: PERFORMANCE BOND FOR ROADS, DRAINAGE AND EROSION CONTROL

LOCATION: OFF EUDAILEY-COVINGTON ROAD

BACKGROUND: The following table shows the previous history of the bond.

MEETING DATE	BOND TYPE	ACTION TAKEN	BOND AMOUNT
September 2019	Performance RDE	Implemented	\$637,000

LAST ACTION: At the September 2019 meeting, this body granted approval of this final plat with the following conditions: 1) The posting of a Performance Bond in the amount of \$637,000 for roads, drainage and erosion control; 2) Posting of a Maintenance Bond in the amount of \$35,000 for water improvements as specified by Milcrofton Utility District; 3) The posting of a Performance Bond in the amount of \$80,600 for the wastewater collection system; 4) The posting of a Performance Bond in the amount of \$43,450 for landscaping improvements; 5) Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and 6) Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

RECOMMENDATION: Staff visited the site and noted that some improvements have been made. Staff recommends that this bond be extended in the current amount for a period of one (1) year.

<u>CURRENT</u>	<u>RECOMMENDED</u>
\$637,000	\$637,000
Performance	Performance

Reviewer: WA
Date: 10/08/2020

ITEM 27

FINAL PLAT REVIEW FOR HILLSBORO MANOR, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 3 LOTS ON 15.26 ACRES LOCATED OFF OLD HILLSBORO ROAD IN THE 9TH VOTING DISTRICT (1-2020-415)

Area	15.26 acres
Lots	3
Zoning	Rural Preservation-1 (RP-1)
Water	H.B. & T.S. Utility District
Sewer	Individual Septic Systems
Development Option	Large Lot Easement
Chapter 1101 Status	Rural
Map and Parcel	050---01615
File Number	(1-2020-415)

The subject parcel is approximately fifteen (15) acres in size and is located off Old Hillsboro Road, approximately 634 feet from Old Charlotte Pike. The applicant is requesting approval of a Large Lot Easement Subdivision in order to create three (3) lots off a new fifty-foot (50') ingress/egress/utilities easement. At this time, the applicant is requesting deferral to the November 2020 meeting to allow more time to address outstanding comments from County departments. Staff concurs with this request.

ITEM 28

FINAL PLAT REVIEW FOR PEYTONSVILLE ESTATES, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 6 LOTS ON 34.57 ACRES LOCATED OFF PEYTONSVILLE-ARNO ROAD IN THE 2ND VOTING DISTRICT (1-2020-421)

Area	34.57 acres
Lots	6
Zoning	Rural Development-5 (RD-5)
Water	Milcrofton Utility District
Sewer	Individual Septic Systems
Development Option	Large Lot Easement
Chapter 1101 Status	Rural
Map and Parcel	143---03300,03301, and 03305
File Number	(1-2020-421)

The subject parcel is approximately 35 acres in size and is located off Peytons ville-Arno Road, approximately $\frac{3}{4}$ of a mile east of Cool Springs Road. The applicant is requesting approval of a Large Lot Easement Subdivision in order to create five lots off an extended fifty-foot (50') ingress/egress/utilities easement and one (1) lot on Peytons ville-Arno Road. In order to allow more time to have more soil work performed, the applicant has requested deferral to the November 2020 meeting. Staff concurs with this request.

ITEM 29

FINAL PLAT REVIEW FOR BROOKLANDS, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 4 LOTS ON 25.54 ACRES LOCATED OFF PEYTONSVILLE-TRINITY ROAD IN THE 12TH VOTING DISTRICT (1-2020-424)

Area	25.54 acres
Lots	4
Zoning	Rural Development-1 (RD-1)
Water	Milcrofton Utility District
Sewer	Individual Septic Systems
Development Option	Large Lot Easement
Chapter 1101 Status	Rural
Map and Parcel	134---00600
File Number	(1-2020-424)

The subject property is approximately twenty-six (26) acres in size and is located off Peytonsville-Trinity Road, approximately 1/3 mile south of Crowder and Meeks Roads. The applicant is requesting approval of a Large Lot Easement Subdivision in order to create four (4) lots off a new fifty-foot (50') ingress/egress/utilities easement. At this time, the applicant is requesting deferral to the November 2020 meeting to allow more time to address a violation of the Stormwater Management Regulations. Staff concurs with this request.

Reviewer: LS
Date: 10/08/2020

ITEM 30

FINAL PLAT REVIEW FOR ABERLEIGH, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 4 LOTS ON 22 ACRES LOCATED OFF PEYTONSVILLE-TRINITY ROAD IN THE 12TH VOTING DISTRICT (1-2020-425)

Attachment	30-1 30-2	Final Plat Aerial Photograph
Area		22.00 acres
Lots		4
Zoning		Rural Development-1 (RD-1)
Water		Milcrofton Utility District
Sewer		Individual Septic Systems
Development Option		Large Lot Easement
Chapter 1101 Status		Rural
Map and Parcel		134---00600
File Number		(1-2020-425)

The subject property is approximately twenty-two (22) acres in size and is located off Peytonsville-Trinity Road, approximately 1/3 mile south of Crowder and Meeks Roads. The applicant is requesting approval of a Large Lot Easement Subdivision in order to create four (4) lots off a new fifty-foot (50') ingress/egress/utilities easement.

The site contains natural resources requiring protection, including steep slopes, a hilltop, slippage soils, wetlands, and woodlands. There are moderately steep slopes inside and outside of building envelopes and very steep slopes outside of building envelopes. The hilltop is entirely outside of any building envelopes. Qualified professionals have determined there are no wetlands or slippage soils in the building envelopes. The site is also mostly under tree canopy. All Zoning Ordinance requirements, including those regarding the protection of natural resources, have been met.

The applicant is proposing individual septic systems for the lots, and the Williamson County Department of Sewage Disposal Management has approved the request. Water will be provided by the Milcrofton Utility District. As no fire hydrants are proposed, and as none are currently located within 500 feet of the building envelopes, the building envelopes have been separated by 200 feet.

The plat is in order and Staff recommends approval, subject to the following:

1. A Notice of Coverage issued by TDEC will be required prior to the signing of the plat;
2. A Land Disturbance Permit must be obtained for the overall development; and
3. Driveway and drainage infrastructure must be complete, consistent with Zoning Ordinance requirements, prior to issuance of building permits.

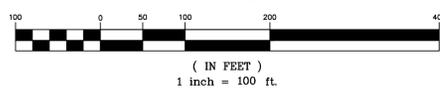
Reviewer: LS
Date: 10/08/2020

WATER SYSTEM NOTE:

ALL MILCROFTON UTILITY DISTRICT (MUD) EASEMENTS ARE EXCLUSIVE EASEMENTS, NO EXCAVATION, BUILDING, STRUCTURE, OR OBSTRUCTION OF ANY KIND MAY BE CONSTRUCTED OR PERMITTED WITHIN THE EASEMENTS, EXCEPT PAVEMENT FOR A DRIVEWAY THAT CROSSES AN EASEMENT. NO TREES OR SHRUBBERY MAY BE PLANTED WITHIN THE EASEMENTS. MUD WILL HAVE UNRESTRICTED ACCESS TO ALL OF ITS LINES, METERS, VALVES, AND OTHER WATER SYSTEM FACILITIES WITHIN THE EASEMENTS WITHOUT SEEKING ANY FURTHER PERMISSION MUD HAS THE RIGHT TO DISTURB OR REMOVE ANY IMPERMISSIBLE ITEMS WITHIN THE EASEMENTS. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY SUCH ITEMS AT THE PROPERTY OWNER'S EXPENSE. A WATER BOOSTER PUMP MAY BE NECESSARY TO SERVE SOME LOTS.

CONTOURS GENERATED BY COMBINING RANDOM FIELD TOPO SHOTS & DIGITALLY SCALED USING GIS CONTOURS. ALL SEPTIC AREAS & CURTAIN DRAIN AREAS ARE FIELD RUN CONTOURS. AREAS OUTSIDE OF THESE LIMITS WHERE FIELD TOPO SHOTS WERE NOT ACHIEVABLE DUE TO HEAVY UNDERGROWTH WERE DIGITALLY SCALED USING GIS CONTOURS. NO STRUCTURES TO BE BUILT WHERE SLOPES >25% ARE PRESENT.

GRAPHIC SCALE



BEARINGS BASED ON DEED BOOK: 7966 PAGE: 577 R.O.W.C., TN.

LEGEND

- PROPERTY BOUNDARY ————
- SEPTIC BOUNDARY - - - - -
- EASEMENT - - - - -
- BUILDING SETBACK - - - - -
- WATER LINE ———— W ————
- DRAINAGE EASEMENT - - - - -
- SEPTIC FIELD [Symbol]
- SOILS GRID [Symbol]
- CRITICAL LOT NUMBER * [Symbol]
- EXISTING IRON PIN [Symbol]
- IPF = IRON PIN FOUND [Symbol]
- SET 1/2"x18" LONG IRON PIN WITH GAM TN 563 CAP [Symbol]
- IPN = IRON PIN SET [Symbol]
- SEPTIC FIELD [Symbol]

JON H. KABIR AND KATHLEEN KABIR
4424 GOSEY HILL ROAD
DBK: 6431 PG: 351 R.O.W.C., TN.
MAP 134 PARCEL 5.03
LOT 1

CHRISTOPHER & KIMBERLY THOMAS
4422 GOSEY HILL ROAD
DBK: 5589 PG: 955 R.O.W.C., TN.
MAP 134 PARCEL 5.06

APPLICATION FOR LAND DISTURBANCE PERMIT WILL BE REQUIRED FOR DEVELOPMENT AND EACH LOT.

PAUL ARNOLD
4356 GOSEY HILL ROAD
DBK: 1692 PG: 552 R.O.W.C., TN.
MAP 116 PARCEL 57.00

DAN & HELEN FORD
4251 CROWDER RD
DBK: 2022 PG: 250 R.O.W.C., TN.
MAP 116 PARCEL 62.00

ROBERT & ANGELA CALDWELL
4303 PEYTONSVILLE-TRINITY RD
DBK: 6949 PG: 40 R.O.W.C., TN.
MAP 116 PARCEL 63.03

EDWARD CHILDRESS
4311 PEYTONSVILLE-TRINITY RD
DBK: 6305 PG: 434 R.O.W.C., TN.
MAP 134 PARCEL 6.01

CURTAIN DRAIN TABLE

LOT	DEPTH	ELEVATION	A	B	C	D	E	F	G	H	TIGHT LINE (C-D)
1	36"	GROUND ELEV. 870.5	866.5	862.5	859.0 (OUT)	867.0	863.0 (OUT)				(E-F)
		INVERT ELEV. 867.5	863.5	859.5	859.0 (OUT)	864.0	860.0 (OUT)				(E-F)
2	36"	GROUND ELEV. 848.0	830.0	822.0	818.0 (OUT)	844.0	830.0	826.0	822.0 (OUT)		(C-D)
		INVERT ELEV. 845.0	827.0	819.0	818.0 (OUT)	841.0	827.0	823.0	822.0 (OUT)		(G-H)
3	36"	GROUND ELEV. 885.0	878.0	871.0	867.0 (OUT)	880.0	871.0	867.0 (OUT)			(C-D)
		INVERT ELEV. 882.0	875.0	868.0	867.0 (OUT)	877.0	868.0	867.0 (OUT)			(F-G)
4	30" or TO ROCK	GROUND ELEV. 862.0	856.0	852.5 (OUT)	859.0	854.5	851.0 (OUT)				(B-C)
		INVERT ELEV. 860.0	853.5	852.5 (OUT)	859.5	852.0	851.0 (OUT)				(E-F)

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	3939.74	189.19'	189.18'	S 09°35'12" W	2°45'05"
C2	6025.00	36.42'	36.42'	S 10°47'11" W	0°32'11"
C3	6029.00	60.75'	60.75'	S 10°13'45" W	0°34'40"
C4	775.00	204.77'	204.18'	N 04°01'19" E	15°08'19"
C5	849.02	112.76'	112.68'	N 05°53'17" W	7°36'35"
C11	317.86'	215.21'	211.12'	S 71°31'50" W	38°47'53"
C12	122.26'	151.87'	142.29'	S 81°56'07" W	71°10'20"
C13	235.55'	62.59'	62.40'	N 71°29'51" W	15°13'25"
C14	164.67'	66.04'	65.60'	S 72°57'28" E	22°58'59"
C15	85.60'	78.88'	76.12'	S 26°51'18" E	52°47'53"
C16	135.60'	132.72'	127.49'	N 26°48'18" W	56°04'41"
C17	214.67'	86.88'	86.29'	N 72°09'08" W	23°11'19"
C18	185.55'	46.74'	46.61'	N 71°15'50" W	14°25'55"
C19	172.28'	212.96'	199.66'	S 81°52'12" W	70°50'08"
C20	267.80'	179.69'	176.34'	S 71°48'40" W	38°26'56"
C21	223.77'	174.66'	170.26'	N 69°08'09" W	44°43'22"
C22	208.78'	177.19'	171.92'	N 65°32'20" W	48°33'37"
C23	775.00'	50.26'	50.25'	N 04°20'45" W	03°42'56"
C24	158.78'	137.38'	133.13'	N 65°14'28" W	49°34'23"
C25	273.77'	215.29'	209.78'	N 68°44'09" W	45°03'25"

ADDRESS CHART

LOT NO.	STREET ADDRESS, CITY, ZIP CODE
1	5105 ABERLEIGH LN, FRANKLIN, TN, 37064
2	5111 ABERLEIGH LN, FRANKLIN, TN, 37064
3	5117 ABERLEIGH LN, FRANKLIN, TN, 37064
4	5114 ABERLEIGH LN, FRANKLIN, TN, 37064

LOT AREA CHART

LOT NO.	SQ. FOOTAGE ±	ACRES ±
1	218,223 S.F.	5.010
2	293,878 S.F.	6.747
3	227,387 S.F.	5.220
4	218,933 S.F.	5.026
TOTAL	958,421 S.F.	22.003
FUTURE DEVELOPMENT	2,484,126 S.F.	57.028
DEDICATED R.O.W.	97,001 S.F.	2.227

MINIMUM BLDG. SETBACKS

FRONT YARD.....100'
SIDE YARD.....20'
REAR YARD.....60'
MIN. LOT WIDTH.....200'

* DENOTES LOTS THAT REQUIRE ENGINEERED SITE PLANS PRIOR TO BUILDING PERMIT ISSUANCE DUE TO PRESENCE OF SLOPES 15%-25%. IN THE BUILDING ENVELOPES ON LOTS 1,2,3,&4.

REVISED PER REVIEW COMMENTS: 9/23/2020

FINAL PLAT
ABERLEIGH
LARGE LOT SUBDIVISION
OFF EASEMENT LOTS 1-4

PROPERTY ADDRESS:
4317 PEYTONSVILLE-TRINITY ROAD
FRANKLIN, TN, 37064

WILLIAMSON COUNTY TAX MAP 134, PORTION OF PARCEL 006.00
FRANKLIN WILLIAMSON COUNTY TENNESSEE

GAM ENGINEERING, INC.
Civil Engineering & Land Surveying
Solutions for a Greener Environment
102 HAZEL PATH, CONCORD BUILDING, SUITE 6
OFFICE F, HENDERSONVILLE, TN 37075
PHONE: 615-348-8282 FAX: 615-447-5314

OWNER: THOMAS W. MOON
ADDRESS: 6251 MEEKS ROAD
CITY, STATE: FRANKLIN, TN, 37064
DEED BOOK: 7966 PAGE: 577 R.O.W.C., TN.

SCALE: 1" = 100'
DRAWN BY: JAD
CHECKED BY: GMC
DATE: 7-28-2020
JOB NO. 19-263
DRAWING NO. 2 OF 2

SEWAGE DISPOSAL CHART

LOT	AREA A	AREA B	NO. BEDROOMS	TYPE OF SYSTEM
* 1	8,661 S.F.	8,648 S.F.	5 - (NO OVERSIZED TUBS)	LPP AREA A (60MPI- 5-15%) - LPP AREA B (60MPI- 0-5%)
2	5,008 S.F.	6,225 S.F.	4 - (NO OVERSIZED TUBS)	LPP AREA A (45MPI- 5-15%) - LPP AREA B (45MPI- 15-25%)
3	7,360 S.F.	7,386 S.F.	4 - (NO OVERSIZED TUBS)	MLPP AREA A (60MPI- 15-25%) - MLPP AREA B (60MPI- 15-25%)
4	7,283 S.F.	7,232 S.F.	5 - (NO OVERSIZED TUBS)	LPP AREA A (45MPI- 5-15%) - LPP AREA B (45MPI- 5-15%)

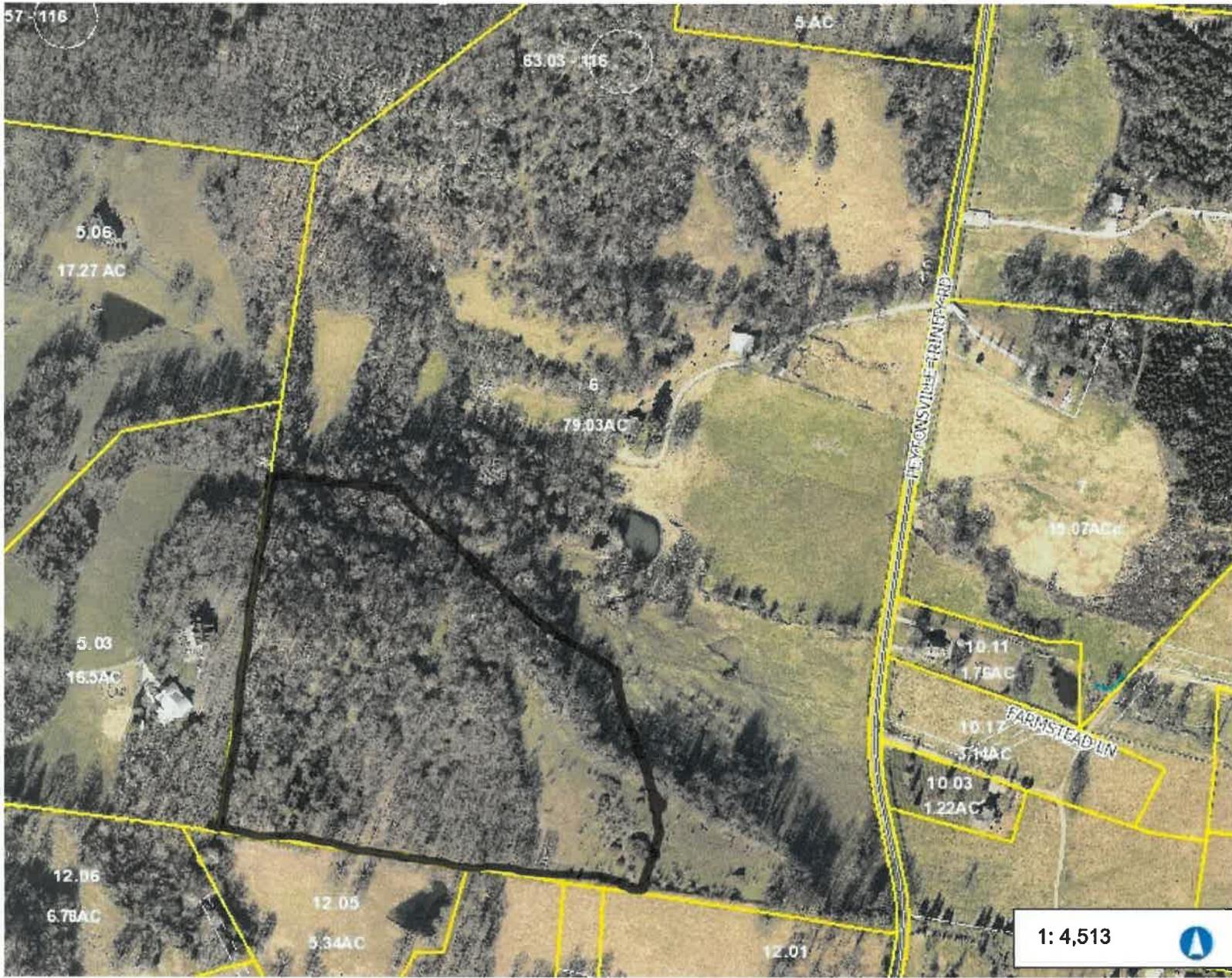
* SURFACE IS HOMOCOPY, DUE TO TREE REMOVAL, AREAS TO BE PLOWED AND/OR TILLING SMOOTH SURFACES PRIOR TO INSTALLATION, ADD UP TO 3" TOPSOIL IF NEEDED TO LEVEL ANY DIPS IN THE SURFACE. ALL WORK AND TOPSOIL SHALL BE APPROVED AND UNDER THE SUPERVISION OF W.C.D.S.D.M.

SURVEYOR'S CERTIFICATE
(I/WE) HEREBY CERTIFY THAT THIS SURVEY MEETS THE REQUIREMENTS OF AN URBAN LAND SURVEY (CATEGORY I) AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10,000 AS SHOWN HEREON.

BY: _____ TN. LICENSE NO. 563
JAMES L. TERRY R.L.S.
DATE: _____

NOTE: SEE SHEET 1 OF 2 FOR GENERAL NOTES AND WILLIAMSON COUNTY SEWAGE DISPOSAL NOTES.

ATTACHMENT 30-2



Legend

- Parcels
- Parcel Numbers
- Parcel Acreage
- Subdivision Name
- Group Corner Annotation
- Control Map
- Notes
- Miscellaneous
- Easement
- Exemptions
- Conflicts
- Lines
- Corporate Limits
 - BRENTWOOD
 - FAIRVIEW
 - FRANKLIN
 - NOLENSVILLE
 - SPRING HILL
 - THOMPSONS STATION
- Parks
- Railroads
- Centerlines
 - <all other values>
 - INTERSTATE
 - ACCESS
 - LOCAL STREETS

Notes

ITEM 31

FINAL PLAT REVIEW FOR CAYMUS SUBDIVISION, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 5 LOTS ON 29.17 ACRES LOT OFF SOUTH CAROTHERS ROAD IN THE 4TH VOTING DISTRICT (1-2020-426)

Area	29.17 acres
Lots	5
Zoning	Municipal Growth Area-1 (MGA-1)
Water	Milcrofton Utility District
Sewer	Individual Septic Systems
Development Option	Large Lot Easement
Chapter 1101 Status	Franklin Urban Growth Boundary (UGB)
Map and Parcel	106---18113
File Number	(1-2020-426)

The subject parcel is approximately thirty-six (36) acres in size and is located off South Carothers Road, across from Gallant Ridge Drive and approximately 1000 feet west of Delta Springs Lane. The applicant is requesting approval of a Large Lot Easement Subdivision in order to create five (5) lots off a new fifty-foot (50') ingress/egress/utilities easement and one (1) lot on South Carothers Road. At this time, the applicant is requesting deferral to the November 2020 meeting to allow more time to demonstrate County regulations have been met. Staff concurs with this request.

ITEM 32

NON-RESIDENTIAL SITE PLAN REVIEW FOR REDEMPTION CITY CHURCH, ON 30.91 ACRES LOCATED OFF CLOVERCROFT ROAD IN THE 4TH VOTING DISTRICT (5-2020-013)

Area	30.91 acres
Zoning	Municipal Growth Area-1 (MGA-1)
Water	Milcrofton Utility District
Sewer	City of Franklin
Development Option	Religious Institution
Chapter 1101 Status	City of Franklin Urban Growth Boundary (UGB)
Map and Parcel	080---04404
File Number	(5-2020-013)

The applicant is requesting approval of an approximately 34,000 square foot building for the Redemption City Church, as well as the associated parking. Wastewater will be handled by the City of Franklin. In order to allow more time to address City of Franklin's comments related to the sewer line extension, the applicant has requested action on this Item be deferred until the November 2020 meeting. Staff concurs with this request.

ITEM 33

CONCEPT PLAN REVIEW FOR DUQUETTE PROPERTY, CONTAINING 128 LOTS ON 143.3 ACRES LOCATED OFF OF GOSEY HILL ROAD IN THE 12TH VOTING DISTRICT (1-2020-205)

Attachment	33-1	Concept Plan
	33-2	Aerial Photograph
	33-3	Letter from the County's Wastewater Consultant
	33-4	Memoranda from Highway Department Engineer

Area	143.3 acres
Lots	128 lots (0.89 DU/A)
Zoning	Rural Development-1 (RD-1)
Water	Milcrofton Utility District
Sewer	Nontraditional Wastewater Treatment and Disposal System
Development Option	Conservation Subdivision
Chapter 1101 Status	Rural
Map and Parcels	116---05200 and 05203

File Number (1-2020-205)

This Item was deferred at the August 2020 meeting because Staff determined the submitted Concept Plan did not meet the open space width requirements as outlined in Article 14 of the Zoning Ordinance. A revised Concept Plan has been submitted, and Staff has determined that the open space strip width requirements have now been met. At the September 2020 meeting this Item was deferred again in order to allow the applicant time to revise the traffic analysis in order to use current traffic counts. Per Staff's request, the traffic analysis has since been revised and the County Highway Department's engineer has reviewed the revised analysis utilizing recently obtained counts, and concurs with the findings (See Attachment 33-4). Additionally, the County Attorney had also recommended the Item be deferred in order to advertise the re-opening of the Public Hearing. The re-opening of the Public Hearing has since been advertised.

The applicant is requesting approval of a 128-lot Conservation Subdivision in the Rural Development-1 (RD-1) zoning district. The review of a Concept Plan is the first stage in the development approval process.

The proposed development consists of 128 lots, which range in size from 10,500 square feet to approximately four (4) acres. The overall density is 0.89 dwelling units per acre.

The subject properties total 143.3 acres and are located at the intersection of Long Lane and Gosey Hill Road. The site contains a number of natural resources, including moderate and very steep slopes, streams, and large areas of woodlands. Approximately 23% of

the site is covered in tree canopy. Approximately fifty-one percent (51%) of the site will be preserved in open space, and approximately seventy percent (70%) of the existing tree canopy will be retained.

The required Open Space strip around the perimeter of the property has been provided.

The Concept Plan depicts an open space strip with a reduced width along Gosey Hill Road, which is permitted by Section 14.04(F)(2) of the Zoning Ordinance as long as the homes within the reduced open space strip face Gosey Hill Road (which they do) and provided that a landscaping plan demonstrates that the homes within the reduced open space strip will be unlikely to be seen from the Road once the proposed landscaping reaches maturity (See Attachment 33-1). In Staff's opinion, the landscaping plan does sufficiently demonstrate that the homes will be fully screened from Gosey Hill Road when the landscaping reaches maturity. All plant material reflected within the reduced open space strip must be installed prior to the submittal of the applicable Final Plat in which it may appear.

This property is subject to the Traffic Shed Methodology as outlined in Article 19 of the Zoning Ordinance. The Traffic Shed analysis indicates that the proposed number of lots is within acceptable limits based upon the capacity of existing roadways. Therefore, off-site road improvements are not required. In response to a request by Staff, the applicant has provided additional right-of-way in order to accommodate a potential realignment of the intersection of Long Lane and Gosey Hill Road.

Access to the proposed development will be provided by two (2) entrances, one from Long Lane and the other from Gosey Hill Road. The County Highway Department has determined that adequate sight distance exists at both entrances and has approved their locations.

Because this development will generate 50 or more peak hour trips, the applicant was required to provide an intersection analysis for the site entrances, which includes an evaluation as to the necessity of turn lanes into the development. This intersection analysis indicates that turn lanes are not warranted based on projected traffic volumes. The County Highway Department's engineer has reviewed the intersection analysis and concurs with the findings contained therein. However, at the request of the Highway Department and Planning Staff the applicant has agreed to install a right-turn lane at both entrances to the development. These lanes are shown on the Concept Plan and will be incorporated into the conditions of approval for the development.

Within the development, the applicant is requesting a right-of-way width of forty (40) feet in order to locate sidewalks outside of the right-of-way and a design speed of twenty-five (25) MPH for internal roadways. Staff is in support of these requests.

Water service will be provided by Milcrofton Utility District. Wastewater will be handled via a Nontraditional Wastewater Treatment and Disposal System, for which a Site Plan was approved at the June, 2020 meeting. Approximately 11.5 acres of the site will be utilized for the Nontraditional Wastewater Treatment and Disposal System, which includes the land application area, treatment facility and storage pond. The proposed system will utilize re-circulating sand filter technology to treat wastewater generated by the proposed subdivision. A Certificate of Convenience and Necessity (CCN) has been approved by the Tennessee Public Utilities Commission (TPUC), and a draft State Operating Permit has been issued by the Tennessee Department of Environment and Conservation (TDEC). A Design Development Report (DDR) as well as a Detailed Soils Investigation Report (DSIR) were prepared by the applicant and submitted to the County. The County's Wastewater Consultant has reviewed these reports and has concluded that all Zoning Ordinance requirements related to Nontraditional Wastewater Treatment and Disposal Systems have been met (See Attachment 33-3).

It is Staff's opinion that the combination of distance, topography, and existing vegetation will serve to adequately screen the treatment system from adjacent properties. A Landscaping Plan for the Nontraditional Wastewater Treatment and Disposal System has been submitted and approved.

It should be noted that once detailed construction and engineering plans are prepared in conjunction with the submittal of a Preliminary Plat, changes to the layout, including the potential for a reduction of lots and relocation of drainage infrastructure from buffer areas, may be necessary.

Staff recommends approval of this Concept Plan, along with the requests for a 40-foot right-of-way width, and a design speed of twenty-five (25) MPH within the subdivision with the following conditions:

The Preliminary Plat must address the following:

1. Submission of roads, drainage and erosion control plans for review and approval by the County;
2. Ensure proper sight distance at the intersection of Gosey Hill Road and Crowder Road;
3. Submission of off-site roadway improvements as specified in the review letter from the Highway Department engineer (See Attachment 33-4) to the County Highway Department for review and approval;
4. Submission of water plans for review and approval by Milcrofton Utility District; and

Reviewer: AVH
Date: 10/08/2020

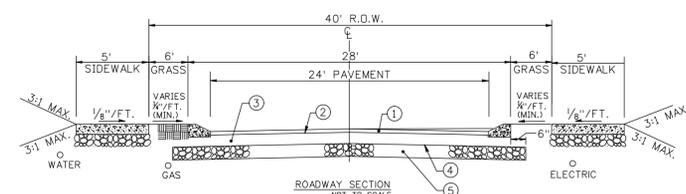
5. Submission of applicable construction plans for required wastewater disposal facilities to TDEC, the County's Consultant, and Staff.

The Final Plat must address the following:

1. Prior to Final Plat submittal for the first Section of the development, off-site roadway improvements as specified in the review letter from the Highway Department engineer (See Attachment 33-4) must be completed to the satisfaction of the County Highway Superintendent;
2. Prior to Final Plat submittal for the first Section of the proposed subdivision, a Zoning Certificate must be obtained for the completed wastewater treatment and disposal system. Prior to issuance of the Zoning Certificate, the applicant shall provide the following as it relates to the wastewater treatment and disposal system:
 - a. A letter from TDEC indicating that the Nontraditional Wastewater Treatment and Disposal System was installed and is functioning;
 - b. As-built drawings showing the location of all system components and a sealed certification letter from the design engineer indicating that said system was constructed in accordance with the approved construction plans and specifications;
 - c. A letter from the owner/utility provider indicating that it has accepted said system and is currently operating same;
 - d. The posting of a Performance Bond in the amount of \$283,000 for the Nontraditional Wastewater Treatment and Disposal System as specified by the County's Wastewater Consultant;
 - e. The posting of a Performance Bond in the amount of \$75,700 for landscaping improvements; and
 - f. Execution of Performance Agreements for the above referenced sureties.
3. Prior to consideration of Final Plat approval, the applicant shall submit HOA documents for review and approval by the County Attorney's office. The HOA documents must be submitted with the Final Plat, and the approved HOA documents must be recorded concurrently with the recording of the Final Plat;
4. All plant materials reflected on the approved Landscaping Plan for the reduced open space strip between the proposed lots and the existing rights-of-way of

Gosey Hill Road, along with any berms, shall be installed prior to the submittal of the applicable Final Plat in which the open space strip appears;

5. Dedication of an additional fifteen (15) feet of right-of-way for a distance of 200 feet along both Long Lane and Gosey Hill Road from the intersection of said roads;
6. Establishment of a performance bond for roads, drainage and erosion control;
7. Establishment of a performance bond for water improvements in favor of Milcrofton Utility District;
8. Establishment of a performance bond for the wastewater collection system;
9. Submission of landscaping plans and establishment of a performance bond for landscaping;
10. Execution of Performance Agreements for the above referenced sureties;
11. Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and
12. Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.



- PAVING SCHEDULE**
- 1 1/2" ASPHALTIC CONCRETE SURFACE (411E)
 - TACK COAT (SS-1) (0.10 GAL./ SQ. YD.)
 - 2" ASPHALTIC CONCRETE BASE (B-MODIFIED 307B)
 - PRIME COAT (RS-2) (0.30 GAL./SQ.YD.)
 - 8" STONE (GRADE D PUG MILL MIX)

TYPICAL 40' R.O.W. SECTION
NOT TO SCALE

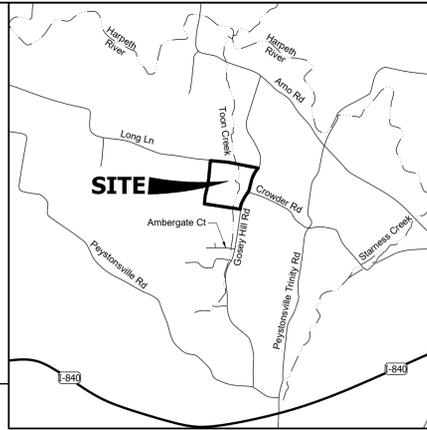
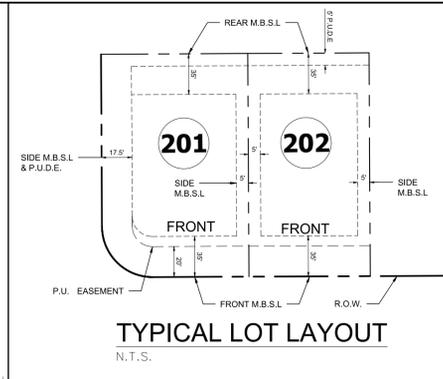
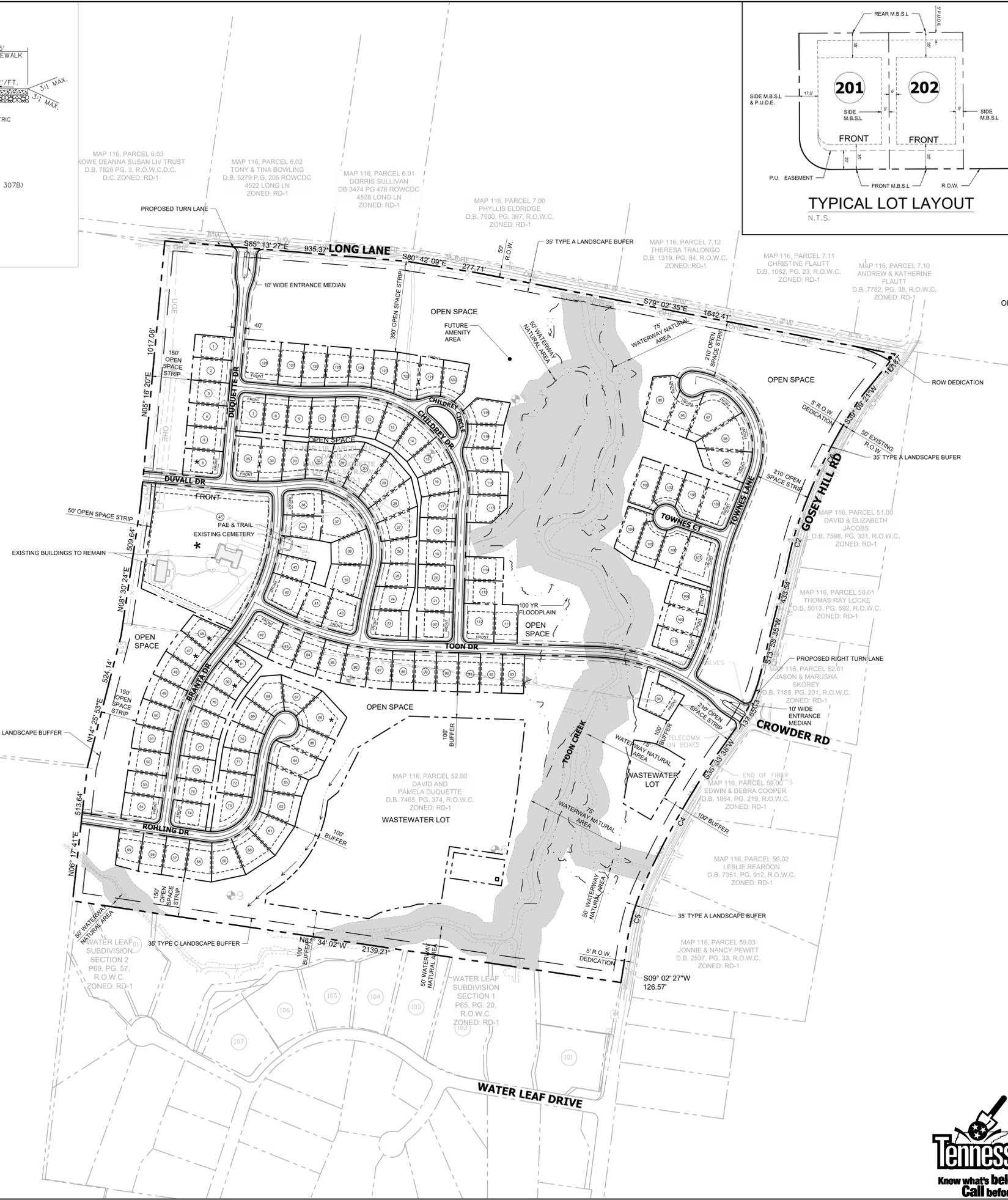
PARCEL CURVE DATA

Curve #	Delta	Length	Radius	Chord
C1	5° 30' 56"	100.34'	1042.29'	S37° 49' 11"W 100.299'
C2	9° 00' 59"	195.85'	1244.54'	S15° 05' 52"W 195.844'
C3	20° 51' 26"	213.34'	586.05'	S24° 24' 18"W 212.161'
C4	10° 22' 06"	577.93'	3193.70'	S29° 21' 45"W 577.143'
C5	18° 14' 15"	254.99'	801.08'	S15° 03' 35"W 253.913'
C6	14° 26' 51"	511.38'	2028.01'	S26° 49' 47"W 510.025'

MAP 116 PARCEL 53.00
LEONARD W. VADEN
D.B. 178, PG. 517, R.O.W.C.
ZONED: RD-1

Lot	Area (SF)	Area (AC)	Lot	Area (SF)	Area (AC)	Lot	Area (SF)	Area (AC)
1	13185	0.30	44	12997	0.30	87	13971	0.32
2	13185	0.30	45	212573	4.88	88	12870	0.30
3	13185	0.30	46	14308	0.33	89	12750	0.29
4	13185	0.30	47	13743	0.32	90	12750	0.29
5	13185	0.30	48	13867	0.32	91	12750	0.29
6	15411	0.35	49	13867	0.32	92	12750	0.29
7	15241	0.35	50	13867	0.32	93	12750	0.29
8	13500	0.31	51	13544	0.31	94	19356	0.44
9	13654	0.31	52	12900	0.30	95	20038	0.46
10	13981	0.32	53	12900	0.30	96	14622	0.34
11	14023	0.32	54	15119	0.35	97	22534	0.52
12	14376	0.33	55	13369	0.31	98	20056	0.46
13	14454	0.33	56	13500	0.31	99	18268	0.42
14	14454	0.33	57	13500	0.31	100	21023	0.48
15	14454	0.33	58	14369	0.33	101	14862	0.34
16	14327	0.33	59	15559	0.36	102	13253	0.30
17	12854	0.30	60	15349	0.35	103	17171	0.39
18	12600	0.29	61	15349	0.35	104	16946	0.39
19	12600	0.29	62	14735	0.34	105	14153	0.32
20	12600	0.29	63	14093	0.32	106	15762	0.36
21	12602	0.29	64	18092	0.42	107	23006	0.53
22	15932	0.37	65	15004	0.34	108	15001	0.34
23	17591	0.40	66	20515	0.47	109	15559	0.36
24	13651	0.31	67	13705	0.31	110	14580	0.33
25	12890	0.30	68	15853	0.36	111	13500	0.31
26	12665	0.29	69	12926	0.30	112	17866	0.41
27	14036	0.32	70	12926	0.30	113	13365	0.31
28	16168	0.37	71	12169	0.28	114	13393	0.31
29	18385	0.42	72	11935	0.27	115	14888	0.34
30	17801	0.41	73	16479	0.38	116	13825	0.32
31	15144	0.35	74	14102	0.32	117	13554	0.31
32	12947	0.30	75	12040	0.28	118	13033	0.30
33	13336	0.31	76	12040	0.28	119	14951	0.34
34	14669	0.34	77	12611	0.29	120	13122	0.30
35	17137	0.39	78	12909	0.30	121	13677	0.31
36	14607	0.34	79	12885	0.30	122	15216	0.35
37	23043	0.53	80	12610	0.29	123	13673	0.31
38	17223	0.40	81	12040	0.28	124	13038	0.30
39	16721	0.38	82	18834	0.43	125	13661	0.31
40	18337	0.42	83	13971	0.32	126	14471	0.33
41	14242	0.33	84	13971	0.32	127	14816	0.34
42	18808	0.43	85	13971	0.32	128	16513	0.38
43	14138	0.32	86	13971	0.32			

MAP 116 PARCEL 52.00
DAVID AND PAMELA DUQUETTE
D.B. 7465, PG. 374, R.O.W.C.
ZONED: RD-1



OPEN SPACE PROVIDED: 73.79 ACRES (51.5%)
WATERWAY PROTECTION: 20.79 ACRES
STEEP TOPOGRAPHY: 5.12 ACRES
WOODLAND & TREE PROTECTION AREA ± 22.4 ACRES
PRE DEVELOPMENT TREE COVERAGE: 22.7%
TREE CANOPY RESERVED: 69%
HISTORIC AND CULTURAL: 0.025 ACRES

- NOTES:**
- These properties have been reviewed for the existence of intermittent and perennial streams. Streams that would require a waterway natural area as described in section 4 of the Williamson County Stormwater Manual Regulations have been located as shown.
 - Within the waterway natural area, there shall be no clearing, grading, construction, or disturbance of vegetation, except as permitted by the Williamson County Engineering Department.
 - This site has been reviewed for the presence of steep slopes, hilltops and ridgetops, slippage soils, and karst features. Areas falling within these categories are noted on this plan.
 - This site has been reviewed for the presence of karst features. No karst features have been found on site.
 - Request for 40' right of way width.
 - Request 25 MPH design speed limit of internal subdivision roads.
 - (*) Critical lots have been marked with *. Lots are critical due to slopes between 15%-25%.

F.E.M.A. Note:
According to F.E.M.A. F.I.R.M. Map number 47187C0360F, effective date September 29, 2006, this site lies within Zone X which is determined to be outside the 100 year floodplain.

SITE DATA:

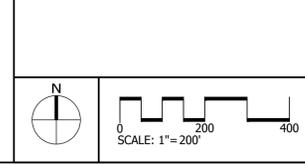
DEVELOPER:
SIGNATURE HOMES
381 MALLORY STATION RD, STE 210
FRANKLIN, TN 37089
PH: 205-238-8227
CONTACT: SCOTT ROHRER
E-MAIL: SROHRER@E-SIGNATUREHOMES.COM

OWNER:
DAVID & PAMELA DUQUETTE
4531 LONG LANE
4335 GOSEY HILL ROAD
FRANKLIN, TN 37064
ZONING: RD-1
TAX MAP 116 PARCEL 52 + 52.03
DB 7465 PG 374
DB 4263 PG 59

USE TYPE: CONSERVATION SUBDIVISION

WASTEWATER TREATMENT AREA: 12.5 AC
TOTAL ACREAGE: ±143.3 AC
AREA OF ROW DEDICATION: 9.15 AC
NUMBER OF LOTS: 128

MAP 116, PARCEL 52.00 + 52.03



Duquette Property Concept Plan

4335 Gosey Hill Rd
Williamson County,
Tennessee

ISSUE SET:

ISSUE DATE:

REVISION SCHEDULE:	
No.	Description
1	Initial Submittal
2	Resubmittal
3	Resubmittal
4	Revised Layout Submittal
5	Resubmittal
5	Resubmittal

REVISION: 5 | DRAWN: KAH | CHECKED: REL

OVERALL CONCEPT PLAN

C1.00

PROJECT NO.: 19-144-01



Sep 02, 2020 - 1:33pm T:\CAD\2019\19-144-01\CAD\DWG\Wastewater & Concept Plan\19-144-01 - c1.00 - Overall Concept Plan.dwg

DEANNA SUSAN LIV TRUST
 .7828 PG. 3, R.O.W.C.D.C.
 D.C. ZONED: RD-1

MAP 116, PARCEL 6.02
 TONY & TINA BOWLING
 D.B. 5279 P.G. 205 ROWCDC
 4522 LONG LN
 ZONED: RD-1

MAP 116, PARCEL 6.01
 DORRIS SULLIVAN
 DB:3474 PG 476 ROWCDC
 4528 LONG LN
 ZONED: RD-1

MAP 116, PARCEL 7.00
 PHYLLIS ELDRIDGE
 D.B. 7500, PG. 397, R.O.W.C.
 ZONED: RD-1

MAP 116, PARCEL 7.12
 THERESA TRALONGO
 D.B. 1319, PG. 84, R.O.W.C.
 ZONED: RD-1

MAP 116,
 CHRISTI
 D.B. 1082, P
 ZONE

MAP 116 PARCEL 53.00
 LEONARD W. VADEN
 D.B. 178, PG. 517, R.O.W.C.
 ZONED: RD-1

MAP 116, PARCEL 52.03
 DAVID AND
 PAMELA D. DUQUETTE
 D.B. 4263 PG. 59, R.O.W.C.
 ZONED: RD-1

MAP 116, PARCEL 51.00
 DAVID & ELIZABETH
 JACOBS

NOTES:

1. These properties have been reviewed for the existence of intermittent and perennial streams. Streams that would require a waterway natural area as described in section 4 of the Williamson County Stormwater Manual Regulations have been located as shown.
2. Within the waterway natural area, there shall be no clearing, grading, construction, or disturbance of vegetation, except as permitted by the Williamson County Engineering Department.
3. This site has been reviewed for the presence of steep slopes, hilltops and ridgetops, slippage soils, and karst features. Areas falling within these categories are noted on this plan.
4. This site has been reviewed for the presence of karst features. No karst features have been found on site.
5. Request for 40' right of way width.
6. Request 25 MPH design speed limit of internal subdivision roads.
7. (*) Critical lots have been marked with *. Lots are critical due to slopes between 15%-25%.

F.E.M.A. Note:

According to F.E.M.A. F.I.R.M. Map number 47187C0360F, effective date September 29, 2006, this site lies within Zone X which is determined to be outside the 500 year floodplain.

MAP 116, PARCEL 52.00 + 52.03

MAP 116,
 JASON
 SH
 D.B. 7185, PG. 201, R.
 ZONED: RD-1

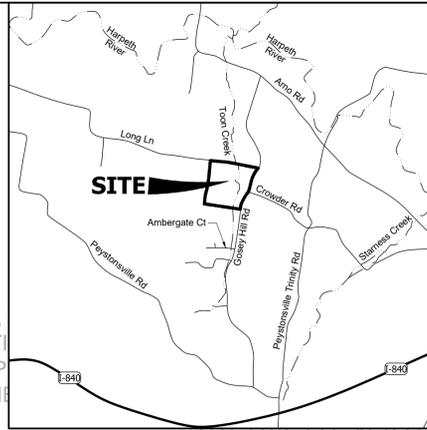
MAP 116, PARCEL 52.00 + 52.03

REVISION: 5 | DRAWN: KAH | CHECKED: REL

CONCEPT PLAN

C1.01

PROJECT NO.: 19-144-01



CSDG
 Planning | Engineering
 Landscape Architecture
 2305 Kline Ave, Ste 300
 Nashville, TN 37211
 615.248.9999
 csdgt.com



**Duquette
 Property
 Concept
 Plan**
 4335 Gosey Hill Rd
 Williamson County,
 Tennessee

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5	Resubmittal	09-02-20

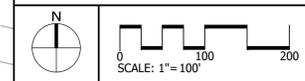
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C1.01

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Sep 02, 2020 - 1:33pm T:\CAD\2019\19-144-01\CAD\DWG\Wastewater & Concept Plan\Concept Plan\19-144-01 - C1.01 - Concept Plan.dwg



MATCHLINE C1.02

2 TELECOMM
 JUNCTION BOXES



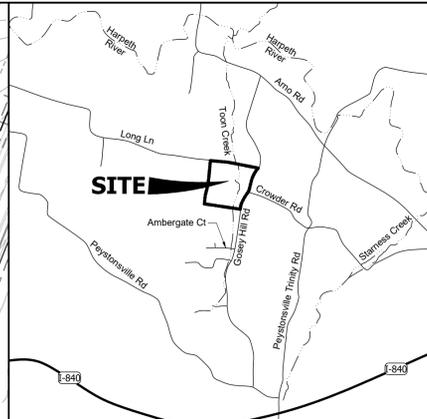


CSDG

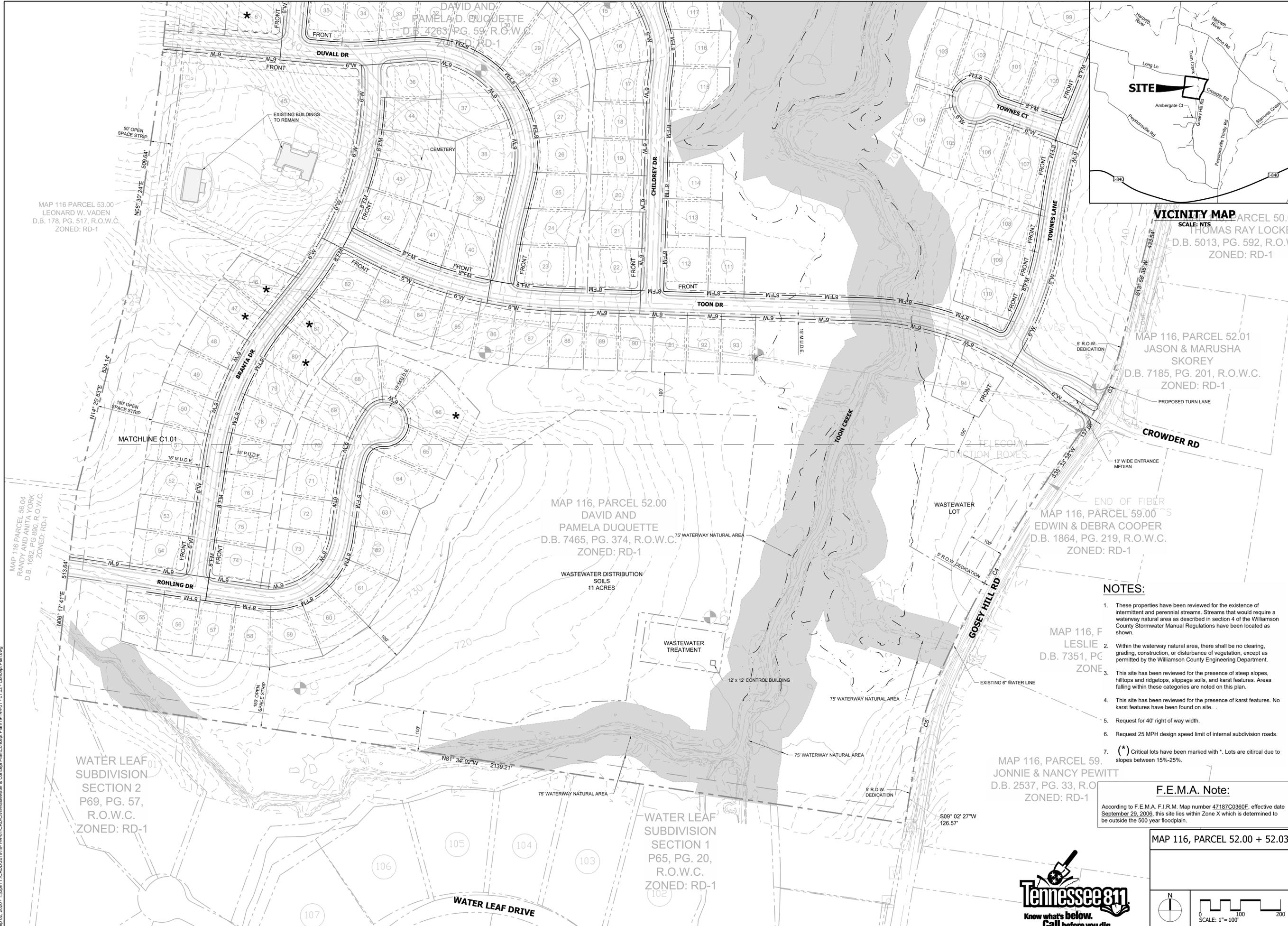
Planning | Engineering
Landscape Architecture

2305 Kline Ave, Ste 300
Nashville, TN 37211
615.248.9999
csdgt.com

SEAL



VICINITY MAP
SCALE: NTS
MAP 116, PARCEL 50.01
THOMAS RAY LOCKE
D.B. 5013, PG. 592, R.O.W.C.
ZONED: RD-1



MAP 116, PARCEL 52.00
DAVID AND
PAMELA DUQUETTE
D.B. 7465, PG. 374, R.O.W.C.
ZONED: RD-1

WASTEWATER DISTRIBUTION
SOILS
11 ACRES

WATER LEAF
SUBDIVISION
SECTION 1
P65, PG. 20,
R.O.W.C.
ZONED: RD-1

WATER LEAF
SUBDIVISION
SECTION 2
P69, PG. 57,
R.O.W.C.
ZONED: RD-1

MAP 116, PARCEL 59.00
EDWIN & DEBRA COOPER
D.B. 1864, PG. 219, R.O.W.C.
ZONED: RD-1

MAP 116, PARCEL 52.01
JASON & MARUSA
SKOREY
D.B. 7185, PG. 201, R.O.W.C.
ZONED: RD-1

MAP 116, PARCEL 59.
JONNIE & NANCY PEWITT
D.B. 2537, PG. 33, R.O.W.C.
ZONED: RD-1

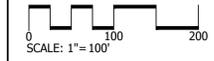
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According to F.E.M.A. F.I.R.M. Map number 47187C0360F, effective date September 29, 2006, this site lies within Zone X which is determined to be outside the 500 year floodplain.

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CONCEPT PLAN

C1.02

PROJECT NO.: 19-144-01



Sep 02, 2020 - 1:33pm T:\CAD\2019\19-144-01\CAD\Civil\Wastewater & Concept Plan\Concept Plan\19-144-01 - C1.02 - Concept Plan.dwg

ATTACHMENT 33-2



Legend

- Parcels
- Notes
- Miscellaneous
- Easement
- Exemptions
- Conflicts
- Lines
- Corporate Limits
- BRENTWOOD
- FAIRVIEW
- FRANKLIN
- NOLENSVILLE
- SPRING HILL
- THOMPSONS STATION
- Parks
- Centerlines
 - <all other values>
 - INTERSTATE
 - ACCESS
 - LOCAL STREETS
 - MAJOR ARTERIAL
 - MAJOR COLLECTOR
 - MINOR ARTERIAL
 - MINOR COLLECTOR
 - NO NAME
 - UNCLASSIFIED

1: 6,991

0.2 0 0.11 0.2 Miles

Notes

ATTACHMENT 33-3



May 26, 2020

Mr. Mike Matteson
Director, Williamson County Planning Department
Administrative Complex
1320 West Main Street
Franklin, TN 37067

RE: Long Lane Wastewater Treatment and Disposal Facility
SSR No. 11-41-017.0

Dear Mr. Matteson:

As you requested, we have reviewed the DDR & DSIR for the Long Lane treatment facility prepared by CSDG. The DDR proposes a facility capable of treating and disposing of 38,400 gal of wastewater generated by the proposed 128 lots in the development.

We have enforced Article 20 of the Williamson County Zoning Ordinance, Nontraditional Wastewater Treatment and Disposal Systems, and we find that the applicant has met the required conditions. We recommend approval as submitted.

We recommend the following Performance Bond amount for the on-site treatment and disposal facility:

On-Site Treatment and Disposal System: Total Cost = \$943,500

Bond Amount - (\$943,500) x 30% = \$283,000.00

If you have questions, please feel free to call me at 615-383-1113.

Sincerely,

SMITH SECKMAN REID, INC.

Bo Butler, P.E.

ATTACHMENT 33-4



2949 Nolensville Pike, Nashville, TN 37211
(615) 331-1441 • WWW.COLLIERENGINEERING.COM

MEMORANDUM

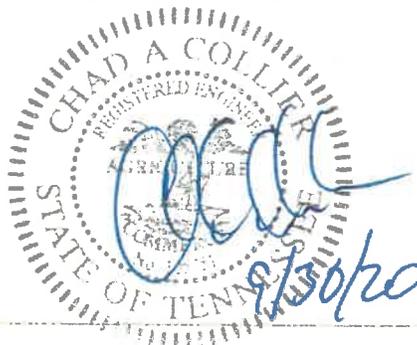
To: Mr. Michael Matteson, AICP
Director, Williamson County Planning

From: Chad A. Collier, P.E.

Date: September 30, 2020

Re: Traffic Impact Analysis review

Subject: Duquette Property



This property lies at the intersection of Long Lane and Gosey Hill Road in Williamson County, TN. At Williamson County Planning's request, Collier Engineering Co., Inc. reviewed the TIA submitted by SAIN and Associates dated September 18th, 2020 on behalf of Signature Homes. This memo was completed at the request of the Planning Department as an update to the original TIA that had some questions as to the collection of traffic. This memo has had new traffic data collected on September 15th, 2020 and is being done per Williamson County's traffic study guidelines.

OBSERVATIONS:

This TIA has been prepared in accordance with the requirements of the zoning ordinance using the traffic shed methodology and shows an allowable density of 0.91 homes per acre. It describes a residential development consisting of 128 residential lots on 143 acres located just to the south of Long Lane and to the west of Gosey Hill Rd. and adjacent to the aforementioned intersection. Their site plan shows new roadways within the development which intersect Long Lane at the approximate mid-point of the property and also intersect Gosey Hill Road at the existing intersection of Crowder Rd.

After reviewing the current TIA dated September 18th, it appears that new traffic generated by this development would equate to 129 PM Peak Hour Trips based on single family detached housing. It appears that they have checked turn lane warrants at both driveway approaches on Long Ln. and Gosey Hill Rd. and neither showed a warrant for the addition of a left or right turn lane at either entrance.

It also appears that the additional Rights of Way dedicated at the intersection of Gosey Hill Rd. and Long Lane in the site plan has been removed.

The previous reports show a small issue with sight distance with the eastern driveway due to the 45 mph speed limit on Gosey Hill Rd and a small group of trees along the road when looking North. With the sight distance now shown as being exactly the 430 feet of length necessary for the sight distance at that location.



CONCLUSIONS:

- Sight Distance should be adequate at all entrances where they intersect a county road. Therefore, this should be monitored as they cut the entrance and field verified making any necessary vegetation removal to get the required distance at the eastern entrance when construction begins at the entrance location and it is allowed to be used by any construction traffic.
- Right turn lanes with a minimum length of 50' and the proper transitions back to the existing roadway based on the design speed of the two roadway segments should be included in the site plan along with the appropriate stormwater management and right of way dedicated for future maintenance at both entrances. Right turn lanes, while not warranted, have been requested by the Planning Department on behalf of the Highway Department.
- The intersection of Long Lane and Gosey Hill Road will be improved in the future. The intersection will very likely warrant the addition of a right turn lane onto Gosey Hill from Long Lane along with a left turn lane from Gosey Hill left onto Long Lane. I would estimate the turn lanes to require a storage bay of approximately 200' on both legs of the intersection with the appropriate tapers. I would suggest that the necessary property be dedicated as Rights of Way or Permanent Easement that would allow for these future improvements. That dedication would consist of an additional 15' of rights of way approximately 200' down Long Lane and Gosey Hill from the intersection with a 150' taper back to the existing ROW. Also ensure that any landscaping or hardscape proposed on this project would not interfere with or block sight distance of these future intersection improvements.

MEMORANDUM

To: Mr. Michael Matteson, AICP
Director, Williamson County Planning

From: Chad A. Collier, P.E.

Date: September 3, 2020

Re: Duquette Property Traffic Impact Analysis review



This property lies at the intersection of Long Lane and Gosey Hill Road in Williamson County, TN. At Williamson County Planning's request, Collier Engineering Co., Inc. reviewed the TIA submitted by SAIN and Associates dated September 3rd, 2020 on behalf of Signature Homes. This memo was completed at the request of the Planning Department as an update to the original TIA dated April 24th, 2020 which contained a memorandum performing the traffic shed analysis from January 22nd, 2020.

On March 10th, 2020 it was determined that Williamson County Schools would close and then on March 22nd, 2020 Governor Lee's executive order 17 which limited social gatherings, dine in restaurant service, gym service, and exposure to nursing and retirement homes. On top of that, Nashville had already issued their first stay at home order materially effecting much of the need or ability to travel in normal fashion throughout the entire region. It was determined that the data collected on March 25th would not be representative of the existing traffic at this location without schools and during the state of TN's initial lockdown of the entire state.

OBSERVATIONS:

This TIA has been prepared in accordance with the requirements of the zoning ordinance using the traffic shed methodology. It describes a residential development consisting of 128 residential lots on 143 acres located just to the south of Long Lane and to the west of Gosey Hill Rd. and adjacent to the aforementioned intersection. Their site plan shows new roadways within the development which intersect Long Lane at the approximate mid-point of the property and also intersect Gosey Hill Road at the existing intersection of Crowder Rd.

After reviewing the current TIA dated September 3rd it appears that new data was collected on September 1st, 2020 for Gosey Hill Road and Crowder Rd., and according to the report, the data for Long lane and Gosey Hill Rd. was collected in January but "balanced and projected out four years to estimate the full buildout date."

It also appears that there has been some additional Rights of Way dedicated at the intersection of Gosey Hill Rd. and Long Lane in the site plan document attached.



Some additional sight distance will be necessary at the eastern entry location looking North as noted in the report.

Right turn lanes, while not warranted, have been requested by the Planning Department on behalf of the Highway Department.

CONCLUSIONS:

- The traffic data collected first in January and then in March on the initial TIA then updated for Gosey Hill Rd. in September for this report is questionable and just not adequate. There is no reason why new data shouldn't be collected on Gosey Hill and Long Lane to ensure that the traffic shed calculation is correctly applied in this situation and the analysis that is performed is accurate. The primary use of the shed methodology is to determine the number of lots allowed and that data collected must be accurate and representative of the existing traffic in the area.
- Traffic Data should be projected out when doing the analysis by 10 years to ascertain the future impacts of the development post buildout. I would also request that you show that projection as well as any other data manipulation that is being done. It should be very transparent and done in a way that is clear for review. Data should also include both daily and PM Peak Hour counts for analysis.
- Sight Distance should be adequate at all entrances where they intersect a county road.
- Right turn lanes with a minimum length of 50' and the proper transitions back to the existing roadway based on the design speed of the two roadway segments should be included in the site plan along with the appropriate stormwater management and right of way dedicated for future maintenance at both entrances.
- The intersection of Long Lane and Gosey Hill Road will be improved in the future. The intersection will very likely warrant the addition of right turn lane onto Gosey Hill from Long Lane along with a left turn lane from Gosey Hill left onto Long Lane. I would estimate the turn lanes to require a storage bay of approximately 200' on both legs of the intersection with the appropriate tapers. Please dedicate the necessary property that would allow for these future improvements. Also ensure that any landscaping or hardscape proposed on this project would not interfere with these future intersection improvements.

ITEM 34

CONCEPT PLAN REVIEW FOR HIGH PARK HILL, CONTAINING 157 LOTS ON 161.03 ACRES LOCATED OFF OF MURFREESBORO ROAD IN THE 5TH VOTING DISTRICT (1-2020-204)

Attachment	34-1	Concept Plan
	34-2	Aerial Photograph
	34-3	Letter from County's Traffic Consultant
	34-4	Letter from County's Wastewater Consultant

Area	161.03 acres
Lots	157 lots (0.97 DU/A)
Zoning	Rural Development-1 (RD-1)
Water	Milcrofton Utility District
Sewer	Nontraditional Wastewater Treatment and Disposal System
Development Option	Conservation Subdivision
Chapter 1101 Status	Rural
Map and Parcels	109---02300 and 02800

File Number (1-2020-204)

This Item was deferred at the August 2020 to allow the applicant time to locate a gas line easement on the Concept Plan, the location of which would necessitate adjustments to the proposed layout. The gas line easement has since been located, and as such, minor adjustments to the development's layout have been made. At the September 2020 meeting, and based upon the recommendation of the County Attorney, this Item was deferred a second time in order to advertise the re-opening of the Public Hearing. The re-opening of the Public Hearing has since been advertised.

The applicant is requesting approval of a 157-lot Conservation Subdivision in the Rural Development-1 (RD-1) zoning district. The review of a Concept Plan is the first stage in the development approval process.

The subject property totals approximately 161.03 acres and is located on Murfreesboro Road (SR 96), approximately 3/10 of a mile east of the intersection of Murfreesboro Road and Wilson Pike. The King's Chapel development and Sycamore Farms Event Center adjoins the property to the east. The site contains a number of natural resources, including moderate and very steep slopes, a stream, floodplain, and areas of woodlands. Approximately 42% of the site is covered in tree canopy. The required 350-foot Open Space strip parallel to Murfreesboro Road and the required 150-foot Open Space strip around the perimeter of the property have been provided.

The proposed development consists of 157 lots, which range in size from approximately 10,000 square feet to approximately 20,500 square feet. The overall density is 0.97 dwelling units per acre. Sixty-eight percent (68%) of the site will be preserved in open space, and sixty-nine percent (69%) of the existing tree canopy will be retained. The roads within this development will be private. It should be noted that private roads and gated communities are now allowable pursuant to the Text Amendment recommended by this body at the November 2019 meeting and adopted by the County Commission in January of 2020.

A Traffic Impact Analysis (TIA) was conducted by the applicant and reviewed by the County's Traffic Engineering Consultant (See Attachment 32-3). Because a contract for the Highway 96 widening project has now been let, the TIA uses the capacity of the future 5-lane section in the analysis, which is permitted based upon Section 19.06 of the Zoning Ordinance. That Zoning Ordinance provision also states that the completion of the roadway project must precede the completion of the development. The TDOT contract specifies a project duration of four (4) years. In order to align the pace of development with the projected pace of the roadway project, the County's Traffic Engineering Consultant is recommending that the County only approve Final Plats for 25% of the total number of lots per year. This equates to 39 lots per year. Should the TDOT roadway project schedule be altered, the number of lots allowed to be Final Platted may be adjusted to account for such alteration in completion schedule.

Access to the proposed development will be provided from two (2) entrances from Murfreesboro Road, and both a left and right turn lane are to be constructed at the easternmost entrance. Within the development, the applicant is requesting a right-of-way width of forty (40) feet in order to locate sidewalks outside of the right-of-way, and a design speed of twenty-five (25) MPH for internal roadways. Staff is in support of these requests.

Water service will be provided by Milcrofton Utility District. Wastewater will be handled via a nontraditional wastewater treatment and disposal system (at King's Chapel), for which a revised Site Plan was approved at the August, 2019 meeting to accommodate the capacity of this additional development. The current STEG (Septic Tank Effluent Gravity) collection system will continue to be utilized, but the existing sandfilter treatment area will be abandoned and replaced with an Ax-max treatment system. An amended draft State Operating Permit (SOP) has been issued by TDEC for the proposed system.

A revised Design Development Report (DDR) was prepared by the applicant and submitted to the County. The County's Wastewater Consultant has reviewed this report and is recommending approval (See Attachment 34-4).

It should be noted that once detailed construction and engineering plans are prepared in conjunction with the submittal of a Preliminary Plat, changes to the layout, including the

Reviewer: AVH
Date: 10/08/2020

potential for a reduction of lots and relocation of drainage infrastructure from buffer areas, may be necessary. A Landscaping Plan will also be required.

Staff recommends approval of this Concept Plan, along with the requests for a 40-foot right-of-way width, and a design speed of twenty-five (25) MPH within the subdivision, with the following conditions:

The Preliminary Plat must address the following:

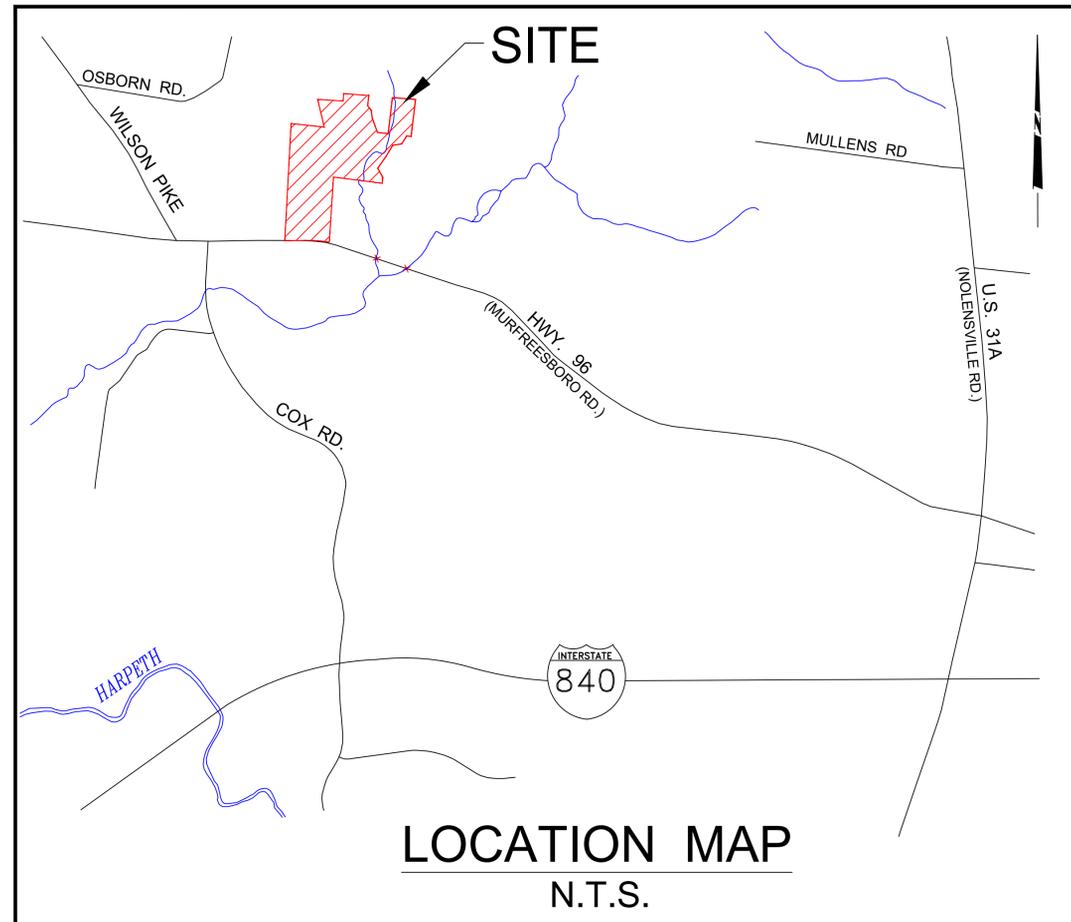
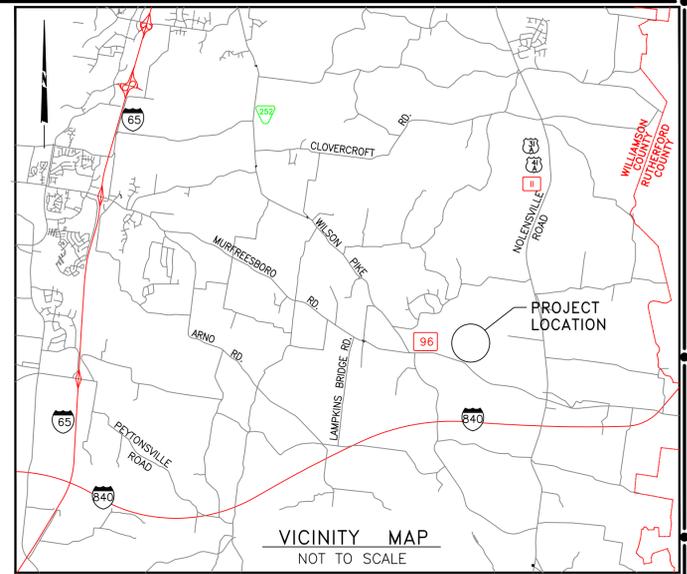
1. Submission of roads, drainage and erosion control plans for review and approval by the County;
2. Construction plans for the off-site roadway improvements shall be approved by TDOT prior to submission of the Preliminary Plat;
3. Submission of water plans for review and approval by Milcrofton Utility District; and
4. Submission of applicable construction plans for required wastewater disposal facilities to TDEC, the County's consultant, and Staff.

The Final Plat must address the following:

1. Prior to Final Plat submittal for the first Section of the proposed subdivision, a Zoning Certificate must be obtained for the expanded portion of the King's Chapel wastewater treatment and disposal system. Prior to issuance of the Zoning Certificate, the applicant shall provide the following:
 - a. A letter from TDEC indicating said system was installed and is functioning;
 - b. As-built drawings showing the location of all system components and a sealed certification letter from the design engineer indicating that said systems were constructed in accordance with the approved construction plans and specifications;
 - c. A letter from the owner/utility provider indicating that it has accepted said system and is currently operating same;
 - d. The posting of a Performance Bond for the expansion of the existing disposal and treatment system in the amount of \$381,600;
 - e. Posting of a Performance Bond for landscaping improvements in the amount of \$12,400; and

- f. Execution of Performance Agreements for the above referenced sureties.
2. No more than thirty-nine (39) lots may receive Final Plat approval per year, beginning on the date of Concept Plan approval. This number may be adjusted based on changes to TDOT's projected completion schedule for the widening of Highway 96;
3. Prior to consideration of Final Plat approval, the applicant shall submit HOA documents for review and approval by the County Attorney's office. The HOA documents must be submitted with the Final Plat, and the approved HOA documents must be recorded concurrently with the recording of the Final Plat;
4. Prior to submittal of the first Final Plat, all off-site roadway improvements shall be completed to the satisfaction of TDOT;
5. If a security gate is to be installed, a permit will need to be obtained prior to its installation, and all requirements for such gates as outlined in Section 17.11 of the Zoning Ordinance will need to be met;
6. Establishment of a performance bond for roads, drainage and erosion control;
7. Establishment of a performance bond for water improvements in favor of Milcrofton Utility District;
8. Establishment of a performance bond for the wastewater collection system;
9. Submission of landscaping plans and establishment of a performance bond for landscaping;
10. Execution of Performance Agreements for the above referenced sureties;
11. Execution of a Stormwater Maintenance Agreement and submission of an Operation and Maintenance Plan for stormwater improvements; and
12. Submission of the approved Final Plat in .dwg format on recordable media based on the Tennessee State Plane Coordinate System prior to signature and recording of the plat.

HIGH PARK HILL SUBDIVISION CONCEPT PLAN



SITE LOCATED AT 4852 AND 4860 MURFREESBORO ROAD, ARRINGTON, TN.

INDEX

C0.0	TITLE SHEET
C0.1	CHECKLIST
C1.0	CONCEPT PLAN
C1.1, C1.2	ENLARGED CONCEPT PLAN
C2.0	UTILITIES AND ENGINEERING
C3.0	NATURAL RESOURCES

All work to be conducted in accordance with the Williamson County, TN. Zoning Ordinance.

THIS PROJECT TO BE CONSTRUCTED UNDER THE STANDARD SPECIFICATIONS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION DATED: JANUARY 1, 2015 AND ADDITIONAL SPECIFICATIONS AND SPECIAL PROVISIONS CONTAINED IN THE CONSTRUCTION DOCUMENTS.

ALL ROADWAYS WITHIN THIS DEVELOPMENT WILL BE PRIVATE.



SULLIVAN ENGINEERING, INC.
P.O. BOX 1708 / BRENTWOOD, TN 37024



HIGH PARK HILL SUBDIVISION - CONCEPT PLAN

GEORGE M. ROBERTS / MARY L. HILL, BETH A. HILL

TAX MAP 109, PARCELS 23 AND 38

ARRINGTON, WILLIAMSON COUNTY, TN 37014

ORIGINAL ISSUE DATE: JULY 1, 2020 | SEI PROJECT NO.: 19-006 | DRAWN BY: WFW | CHECKED BY: RDS

REVISIONS

#	DATE	DESCRIPTION

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TITLE SHEET

C0.0

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Williamson County Concept Plan Submittal (8-17-20)

Checklist

Section 1: Preliminary Information

- Pre-application Conference Form = *not included as per Aaron Holmes*
- Zoning Certificate = *not included as per Aaron Holmes*
- Fee (non-refundable) = *paid with previous submittal – 8/28/19*
- Required Letters of Approval
 - Sewage Disposal = *separate document submitted with this plan*
 - Water/Sewer Availability including adequate fire flows = *separate document submitted with this plan*

Section 2: Public Hearings – County’s Responsibility

Section 3: General Information

- Map and Parcel Number = *shown on the Concept Plan, the title block, and the Land Use Date Chart*
- Drawn to Scale = *yes, 1”=200’ / enlarged Concept Plans at 1”=100’*
- Location Map = *shown on title sheet, and the Concept Plan*
- Title Block (including)
 - Project Name = *shown multiple locations throughout the plan set / High Park Hill*
 - Address = *shown on the Site Data Chart(on the Concept Plan) and the title sht*
 - Acreage of Land to be Subdivided = *shown on the Site Data Chart, on the Concept Plan*
 - Number of Lots Proposed = *157 -shown on the Lot Area Table, on the Concept Plan Sheet C1.0*
 - Current Zoning = *shown on the Site Data Chart, on the Concept Plan*
 - North Arrow = *shown*
 - Date = *shown*
 - Scale = *shown*
- Copy of Deed and consent by owner = *separate document submitted with this plan*
- Professional Seal, Signed = *yes, each sheet is stamped and signed by an engineer*

Section 4: Concept Plan

- Present record owner identified, including book and page = *shown on the Site Data Chart, on the Concept Plan*
- Adjacent Owners identified, including book and page = *shown on the Concept Plan, sheet C1.0*
- Minimum setback lines based on zoning district = *see High Park Hill Minimum Setbacks & Lot Criteria detail on the Concept Plan, Sheet C1.0*
- Length of boundaries measure to hundredth of a foot = *see Concept Plan, Sheet C1.0*
- Street names and locations = *see Concept Plan, Sheet C1.0*
- Identification of critical lots = *Lots 215 & 216 are critical due to steep slopes (15%-25%). An engineering site plan will be required for these lots when applying for a building permit.*
- Existing buildings identified = *see Concept Plan, Sheet C1.0 (all to be removed)*
- Buffers, ROW and Easements = *see Concept Plan, Sheet C1.0, for the following:*
 - Access = *N/A*
 - Drainage = *shown*
 - Waterway Natural Areas = *shown*
 - Public ROW = *shown*
 - Public Utility = *shown*
 - Other applicable easements = *N/A*
- Proposed phasing of development = *see Concept Plan, Sheet C1.0 (4 anticipated phases total at this time)*
- Property lines and building envelopes identified with required setbacks = *property lines shown. Due to scale, see the High Park Hill Minimum Setbacks & Lot Criteria located on the Concept Plan, Sheet C1.0, for the setbacks*

WILLIAMSON COUNTY, TN. CONCEPT PLAN CHECKLIST (RESPONSES IN BLUE)

- Open Space areas identified and requisite percentage shown per Article 14 = *see Concept Plan, Sheet C1.0, for “Open Space Requirement” located on right edge of plan*
- Any approved or requested variances noted = *see Concept Plan, Sheet C1.0, for “Variance Requests” located on right edge of plan*
- Lot Area Table = *see Concept Plan, Sheet C1.0, for Lot Area Table*
- Lot Areas Identified = *due to scale, please see Concept Plan, Sheet C1.0, for lot areas shown in the Lot Area Table*
- Notions if applicable:
 - If a well is proposed, the following note shall be added: *Public potable water is not available for this site. Williamson County bears no responsibility when approving this plat that a dedicated source of potable water is available = N/A*
 - Any self-imposed or special requirement imposed on lots are identified = *N/A*

Section 5: Utilities and Engineering

- Existing and proposed Utilities = *see Utilities and Engineering Plan, Sheet C2.0*
 - Water Lines identified (size and location) = *Shown*
 - Sewer / Septic Facilities identified and approved = *Shown*
- Grading and Drainage approved by County Engineer = *see Utilities and Engineering Plan, Sheet C2.0, for proposed grading concept*
- Floodplain and Waterway Natural Areas identified with buffers = *Shown on all sheets*
- FEMA panel number and Correct FEM Map Referenced = *see Utilities and Engineering Plan, Sheet C2.0*
- Waterway Natural Area Note Affixed to Plat as required: = *see Utilities and Engineering Plan, Sheet C2.0*
 - *This property has been reviewed for the existence of intermittent and perennial streams. Streams that would require Waterway Natural Areas as described in Section 4 of the Williamson County Storm Water Management Regulations have been located as shown.*
- Approval of Subdivision Name by County Emergency Management = *this approval, along with street names approval, has been received*
- Topographic Contours = *see Utilities and Engineering Plan, Sheet C2.0*
- Required Additional ROW dedications for roadways identified on the Major Thoroughfare Plan = *see Utilities and Engineering Plan, Sheet C2.0. Labeled as Future TDOT Right-Of-Way.*
- Preliminary calculation of Highway Capacity Adjustment = *see Traffic Study, submitted as a separate document*

Section 6: Natural Resources Protection

- Open Space areas identified and requisite percentage shown per Article 14 = *see Concept Plan, Sheet C1.0*
- Landscape buffers and type shown = *see Concept Plan, Sheet C1.0*
- Compliance with Article 13 for the following as applicable: *see Natural Resources Plan, Sheet C3.0 for the following:*
 - Waterway Natural Areas = *shown*
 - Steep topography and slippage soils = *shown*
 - Karst Topography – must meet definition of Karst as defined in Article 23 = *shown*
 - Special Flood Hazard Area protection = *shown*
 - Wetland Protection = *N/A*
 - Woodland and tree protection = *shown*
 - Historic and cultural resource protection = *N/A*
- Resource Protection Plan = *See Sheet C3.0*
- Absence of protected resources note affixed to plat, as required:
 - *This site has been reviewed for the presence of Steep Slopes, Hilltops and Ridgetops, Slippage Soils, and Karst Features. None of the mentioned features are present on this site = N/A*
- Presence of protected resources note affixed to plat, as required:
 - *This site has been reviewed for the presence of Steep Slopes, Hilltops and Ridgetops, Slippage Soils, and Karst Features. Areas falling within these categories are noted on this plan = see Natural Resources Plan, Sheet C3.0 for note.*

Section 7: Additional Requirements

Documents Included with this submittal:

- 1) Letters of Approval
 - a) Sewage Disposal
 - b) Water/Sewer Availability including adequate fire flows
- 2) Property Owner Commitments
- 3) Property Title Searches
- 4) Traffic Impact Study with Review Letter
- 5) Hydraulic Determination Report
- 6) Construction Phasing Letter

High Park Hill Subdivision Narrative

Concept Storm Water

The Storm Water leaving the rooftops will be disconnected by means of yard pop ups. This will allow the water to sheet flow across the yards before leaving the property. As the Storm Water leaves the property it will either enter our roadway and be collected by catch basins or sheet flow through the back yard to open space. The Catch basins will be spaced based off the 25-year storm event not to allow more than an 8’ water spread into the roadway. This Storm Water directed to detention areas for Peak Flow reduction. The detention will reduce all post-development to or below pre-development flow rates. From the detention area the Storm Water will enter Water Quality treatment areas.

Concept Grading

The Grading for the project will be for the roadway to meet AASHTO 25 MPH design requirements with a K values of 26 in sag curves and a 12 in crest curve as a minimum. Looking at the preliminary road grades we only get to maximum grade of 10% in the back of the subdivision. Preliminary 5’ road contours were added for a representative view of how the roads will grade out. The houses will have crawlspaces. There will be mostly minor lot grading overall to tie the front of the houses to the roadways and grading for the Storm Water and utility features.

Connection to State Route 96

High Park Hill is a planned Conservation Subdivision in Williamson County, Tennessee. The county requires two new roadway connections for High Park Hill’s 157 proposed houses. Currently, there exists two drive connections to State Route 96 along it 1164’ of road frontage for the properties combined to make this subdivision. Those two driveways will be removed and replaced with the two roadway connections required by Williamson County. The Traffic Study conducted for High Park Hill showed, mainly for safety reason a 125’ left turn lane in SR96 be provided into the site. This can be easily accomplished based off the current and proposed site conditions that exist along SR 96. Just approximate 370’ east of our property line is an existing entrance to a commercial property. This property currently has a left turn lane on SR 96, therefore the existing travel way width is approximately 35 feet. The proposed TDOT SR 96 project number 94011-325504 is building a 5-lane roadway to our west property line. Even though TDOT is building 5 lanes to our west property line, this project drops the 5-lanes to 2-lanes at the same west property line. The section of SR96 immediately in front of Hill Park Hill is a two-lane section with 11’ lanes and 2’ shoulders. We propose to add 13’ of travel way with a paved 2’ shoulder along the north side of the existing SR96 roadway. This will provide a paved 11’ median and two 12 foot travel lanes form the proposed TDOT project to the radius return of the commercial business to the east of our site. By doing this there is no permanent lane drop transitions or left turn lane transitions for High Park Hill. Please see accompanying plan sheets.

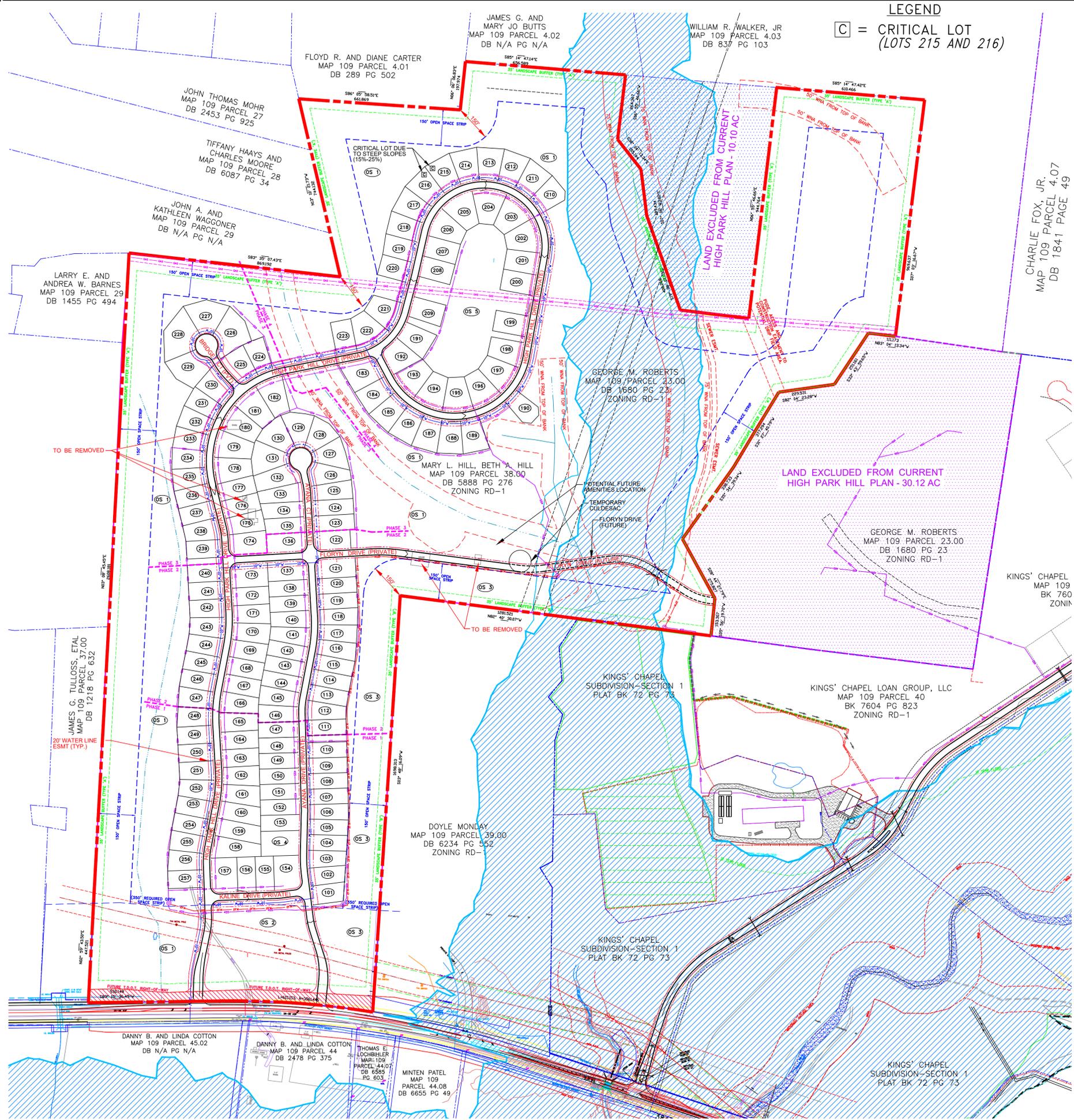
HIGH PARK HILL SUBDIVISION - CONCEPT PLAN
 GEORGE M. ROBERTS / MARY L. HILL, BETH A. HILL
 TAX MAP 109, PARCELS 23 AND 38
 ARRINGTON, WILLIAMSON COUNTY, TN 37014
 ORIGINAL ISSUE DATE: JULY 1, 2020 | SEI PROJECT NO.: 19-006
 DRAWN BY: WFW | CHECKED BY: RUS

REVISIONS		
#	DATE	DESCRIPTION

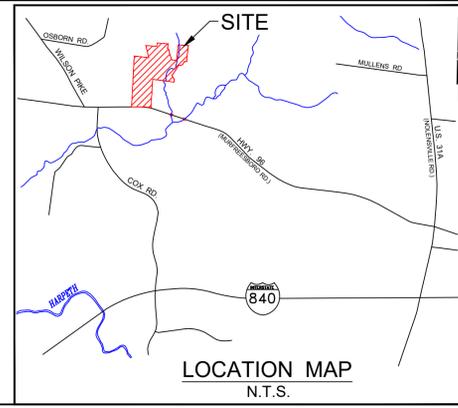
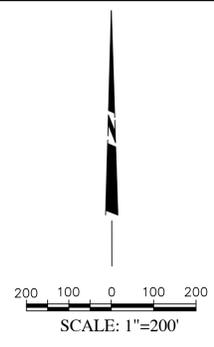
CONCEPT PLAN CHECKLIST

CO.1

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LEGEND
 [C] = CRITICAL LOT (LOTS 215 AND 216)



LOT AREA TABLE (157 LOTS)

Lot No	Area (SF)	Area (Ac)	Lot No	Area (SF)	Area (Ac)	Lot No	Area (SF)	Area (Ac)	Lot No	Area (SF)	Area (Ac)
101	10092	0.23	145	10915	0.25	189	12405	0.28	233	10393	0.24
102	10175	0.23	146	10612	0.24	190	10230	0.23	234	10393	0.24
103	10000	0.23	147	10080	0.23	191	12574	0.29	235	10570	0.24
104	10060	0.23	148	10080	0.23	192	12307	0.28	236	10063	0.23
105	10073	0.23	149	10080	0.23	193	13266	0.30	237	10008	0.23
106	10091	0.23	150	10080	0.23	194	13349	0.31	238	10839	0.25
107	10080	0.23	151	10080	0.23	195	13349	0.31	239	10008	0.23
108	10080	0.23	152	10080	0.23	196	13349	0.31	240	10032	0.23
109	10080	0.23	153	10297	0.24	197	13349	0.31	241	10064	0.23
110	10080	0.23	154	14190	0.33	198	12276	0.28	242	10256	0.24
111	10080	0.23	155	10500	0.24	199	11475	0.26	243	10660	0.24
112	10646	0.24	156	10500	0.24	200	11475	0.26	244	10215	0.23
113	10191	0.23	157	14457	0.33	201	11708	0.27	245	10283	0.24
114	10047	0.23	158	13964	0.32	202	14342	0.33	246	10057	0.23
115	10095	0.23	159	13190	0.30	203	13997	0.32	247	10320	0.24
116	10536	0.24	160	12350	0.28	204	13997	0.32	248	10379	0.24
117	10372	0.24	161	11821	0.27	205	13997	0.32	249	10080	0.23
118	10334	0.24	162	11246	0.26	206	12646	0.29	250	10080	0.23
119	10080	0.23	163	10693	0.25	207	11288	0.26	251	10362	0.24
120	10080	0.23	164	10848	0.25	208	11021	0.25	252	10623	0.24
121	12153	0.28	165	11276	0.26	209	11712	0.27	253	10073	0.23
122	10813	0.25	166	11436	0.26	210	11952	0.27	254	10008	0.23
123	10395	0.24	167	10661	0.24	211	12337	0.28	255	10224	0.23
124	10395	0.24	168	10573	0.24	212	12385	0.28	256	10480	0.24
125	11157	0.26	169	10860	0.25	213	12534	0.29	257	10080	0.23
126	11712	0.27	170	11473	0.26	214	12683	0.29	Total-Lots	1815672	41.68
127	12186	0.28	171	11181	0.26	215	12561	0.29	Open Sp 1	3836702	88.08
128	11468	0.26	172	10644	0.24	216	12561	0.29	Open Sp 2	152323	3.50
129	12345	0.28	173	13923	0.32	217	12561	0.29	Open Sp 3	547841	12.58
130	13310	0.31	174	12923	0.30	218	11723	0.27	Open Sp 4	15701	0.36
131	14049	0.32	175	11549	0.27	219	11055	0.25	Open Sp 5	155530	3.57
132	13401	0.31	176	10800	0.25	220	10914	0.25	Total-OS	4708097	108.08
133	11537	0.26	177	10800	0.25	221	13451	0.31	ROW	435120	9.99
134	10718	0.25	178	13424	0.31	222	15173	0.35	TDOT ROW	55384	1.27
135	10127	0.23	179	13801	0.32	223	11475	0.26	Total Area	7014273	161.03
136	11799	0.27	180	13744	0.32	224	10475	0.24			
137	12153	0.28	181	13801	0.32	225	12636	0.29			
138	10080	0.23	182	13715	0.31	226	18311	0.42			
139	10080	0.23	183	15056	0.35	227	16295	0.37			
140	10272	0.24	184	12164	0.28	228	20469	0.47			
141	10481	0.24	185	12289	0.28	229	17217	0.40			
142	10079	0.23	186	12289	0.28	230	12257	0.28			
143	10080	0.23	187	12289	0.28	231	10427	0.24			
144	10080	0.23	188	12289	0.28	232	10393	0.24			

SITE DATA
 PROJECT NAME: HIGH PARK HILL SUBDIVISION
 TYPE: CONSERVATION SUBDIVISION

OWNER 1: GEORGE M. ROBERTS
 4860 MURFREESBORO ROAD
 ARRINGTON, TN, 37014
 MAP/PARCEL: 109/23
 DEED BK/PAGE NO: 7884/689
 ACREAGE: 102.00

OWNER 2: MARY L. HILL, BETH A. HILL
 4852 MURFREESBORO ROAD
 ARRINGTON, TN, 37014
 MAP/PARCEL: 109/38
 DEED BK/PAGE NO: 5888/276
 ACREAGE: 99.25

CURRENT ZONING: RD-1 RURAL DEVELOPMENT 1
 NUMBER OF PROPOSED LOTS: 157
 DEVELOPMENT SIZE: 161.03 AC
 - 1.27 AC (FOR TDOT ROW)
 159.76 AC DEVELOPMENT
 GROSS DENSITY: 0.98 UNITS PER ACRE

VARIANCE REQUESTS
 1. ALL ROADS SHALL HAVE A 40' R.O.W.
 2. DESIGN SPEED TO BE 25 MPH

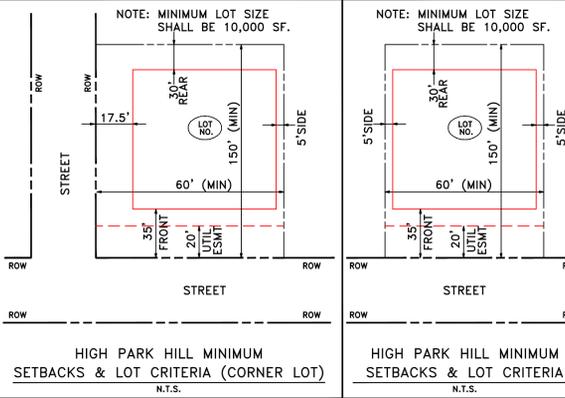
OPEN SPACE REQUIREMENT
 REQUIRED: 159.76 AC X 0.50 = 79.88 AC (50%)
 OPEN SPACE PROVIDED: = 108.08 AC (68%)

ROAD/SUBDIVISION NAMES
 ALL ROAD NAMES AND THE SUBDIVISION NAME HAVE BEEN APPROVED BY WILLIAMSON COUNTY EMERGENCY MANAGEMENT STAFF.

CONSTRUCTION PHASING
 PHASE 1 (39 LOTS) - BEGIN JANUARY, 2021
 PHASE 2 (39 LOTS) - BEGIN JANUARY, 2022
 PHASE 3 (38 LOTS) - BEGIN JANUARY, 2023
 PHASE 4 (41 LOTS) - BEGIN JANUARY, 2024

NOTE: LOTS 215 & 216 ARE CRITICAL DUE TO STEEP SLOPES (15%-25%). AN ENGINEERING SITE PLAN WILL BE REQUIRED FOR THESE LOTS WHEN APPLYING FOR A BUILDING PERMIT.

NOTE: WITHIN THE WATERWAY NATURAL AREA, THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION EXCEPT AS PERMITTED BY THE WILLIAMSON COUNTY ENGINEERING DEPT.



HIGH PARK HILL SUBDIVISION - CONCEPT PLAN
GEORGE M. ROBERTS / MARY L. HILL, BETH A. HILL
 TAX MAP 109, PARCELS 23 AND 38
 ARRINGTON, WILLIAMSON COUNTY, TN 37014
 SEI PROJECT NO.: 19-006
 DRAWN BY: WFW
 CHECKED BY: RUS

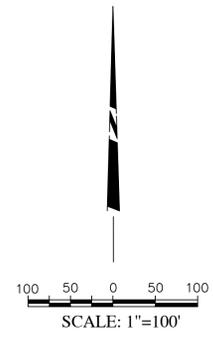
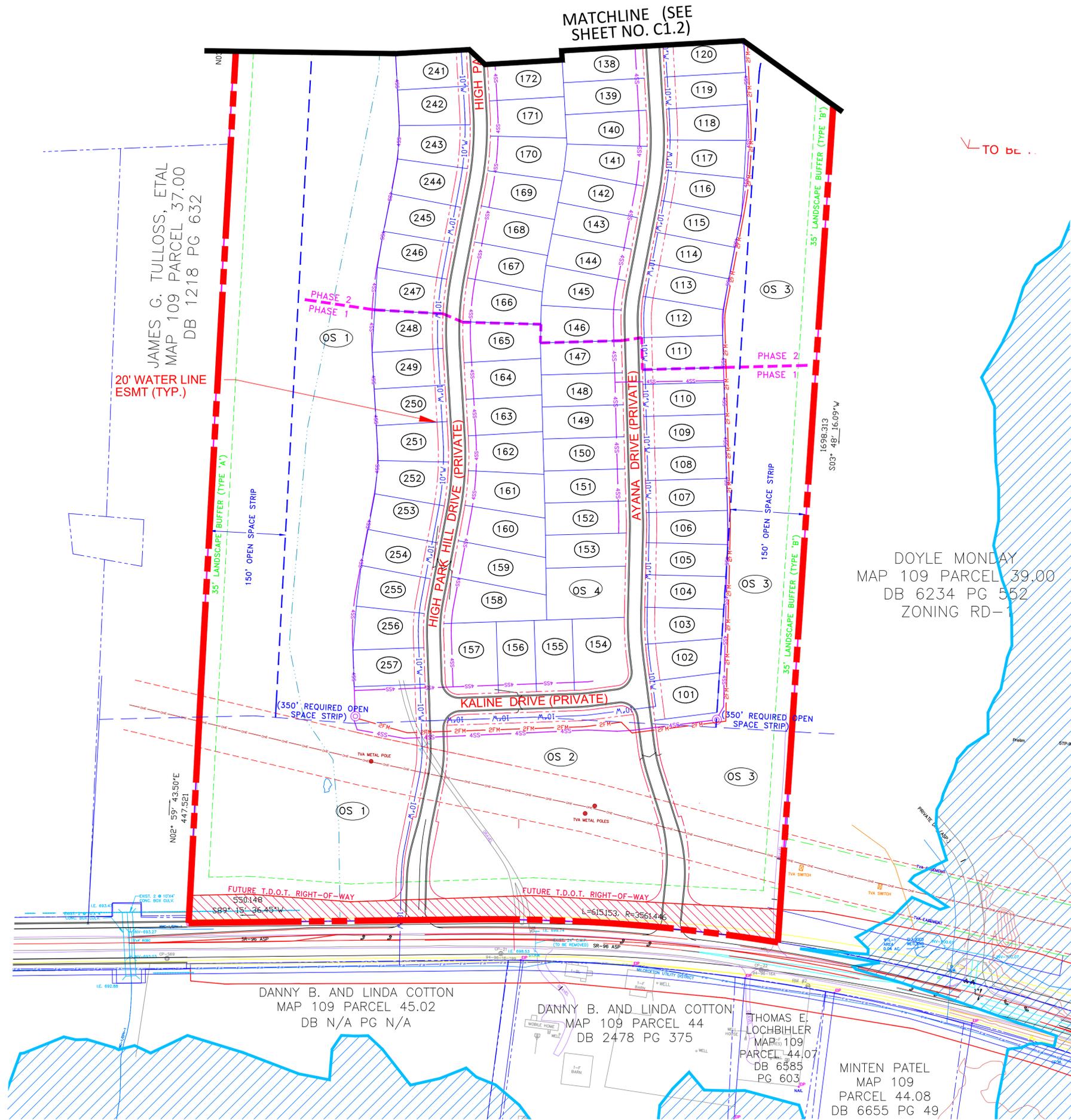
REVISIONS

#	DATE	DESCRIPTION

OVERALL CONCEPT PLAN (1"=200')

C1.0

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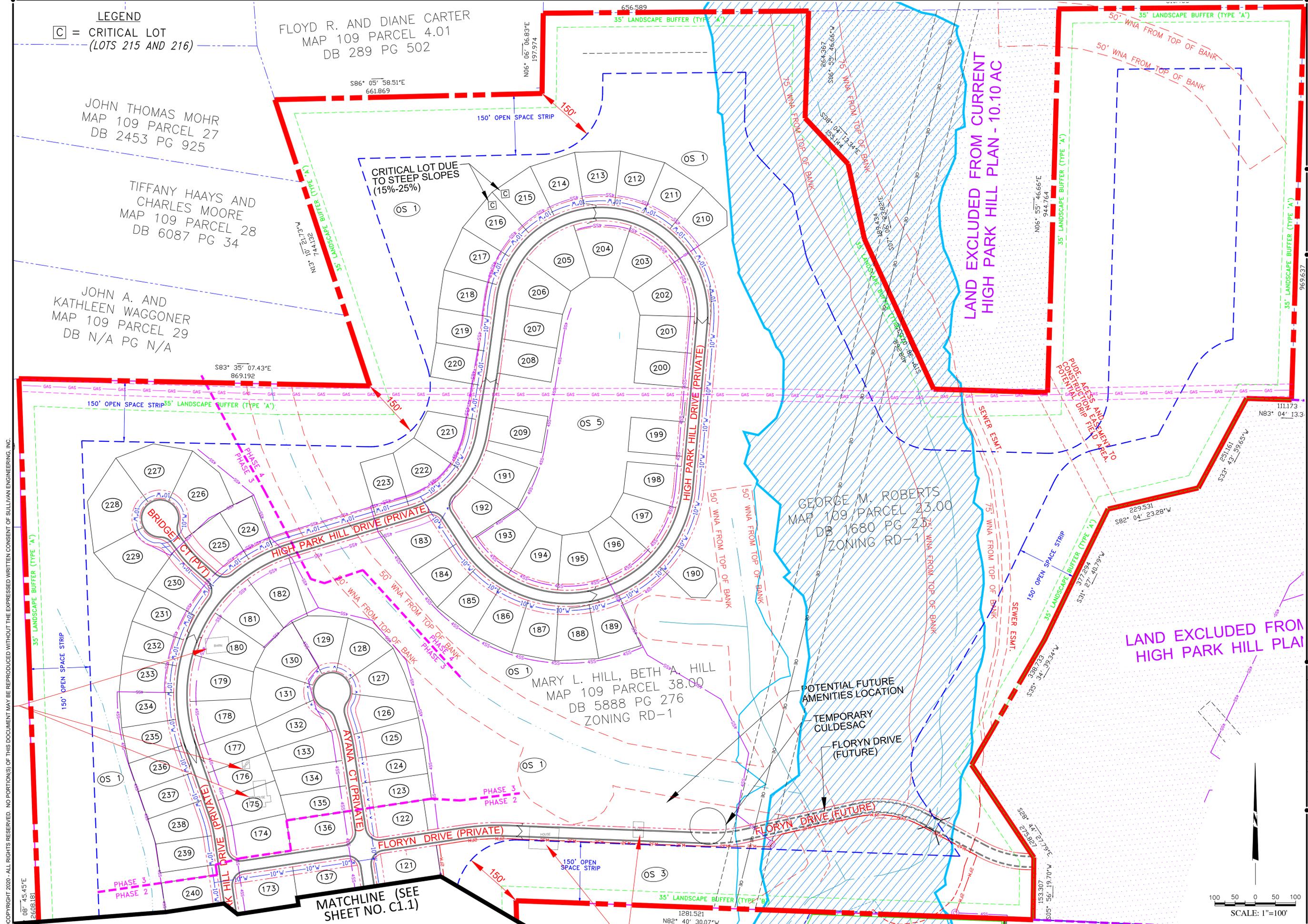
ORIGINAL ISSUE DATE: JULY 1, 2020 | SEI PROJECT NO.: 19-006 | DRAWN BY: WFW | CHECKED BY: RDS

REVISIONS		
#	DATE	DESCRIPTION

ENLARGED CONCEPT PLAN (1"=100')

C1.1

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LEGEND
 [C] = CRITICAL LOT
 (LOTS 215 AND 216)

FLOYD R. AND DIANE CARTER
 MAP 109 PARCEL 4.01
 DB 289 PG 502

JOHN THOMAS MOHR
 MAP 109 PARCEL 27
 DB 2453 PG 925

TIFFANY HAAYS AND
 CHARLES MOORE
 MAP 109 PARCEL 28
 DB 6087 PG 34

JOHN A. AND
 KATHLEEN WAGGONER
 MAP 109 PARCEL 29
 DB N/A PG N/A

GEORGE M. ROBERTS
 MAP 109 PARCEL 23.00
 DB 1680 PG 23
 ZONING RD-1

MARY L. HILL, BETH A. HILL
 MAP 109 PARCEL 38.00
 DB 5888 PG 276
 ZONING RD-1

MATCHLINE (SEE SHEET NO. C1.1)

LAND EXCLUDED FROM CURRENT HIGH PARK HILL PLAN - 10.10 AC

LAND EXCLUDED FROM HIGH PARK HILL PLAN

HIGH PARK HILL SUBDIVISION - CONCEPT PLAN
 GEORGE M. ROBERTS / MARY L. HILL, BETH A. HILL
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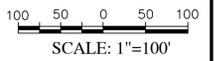
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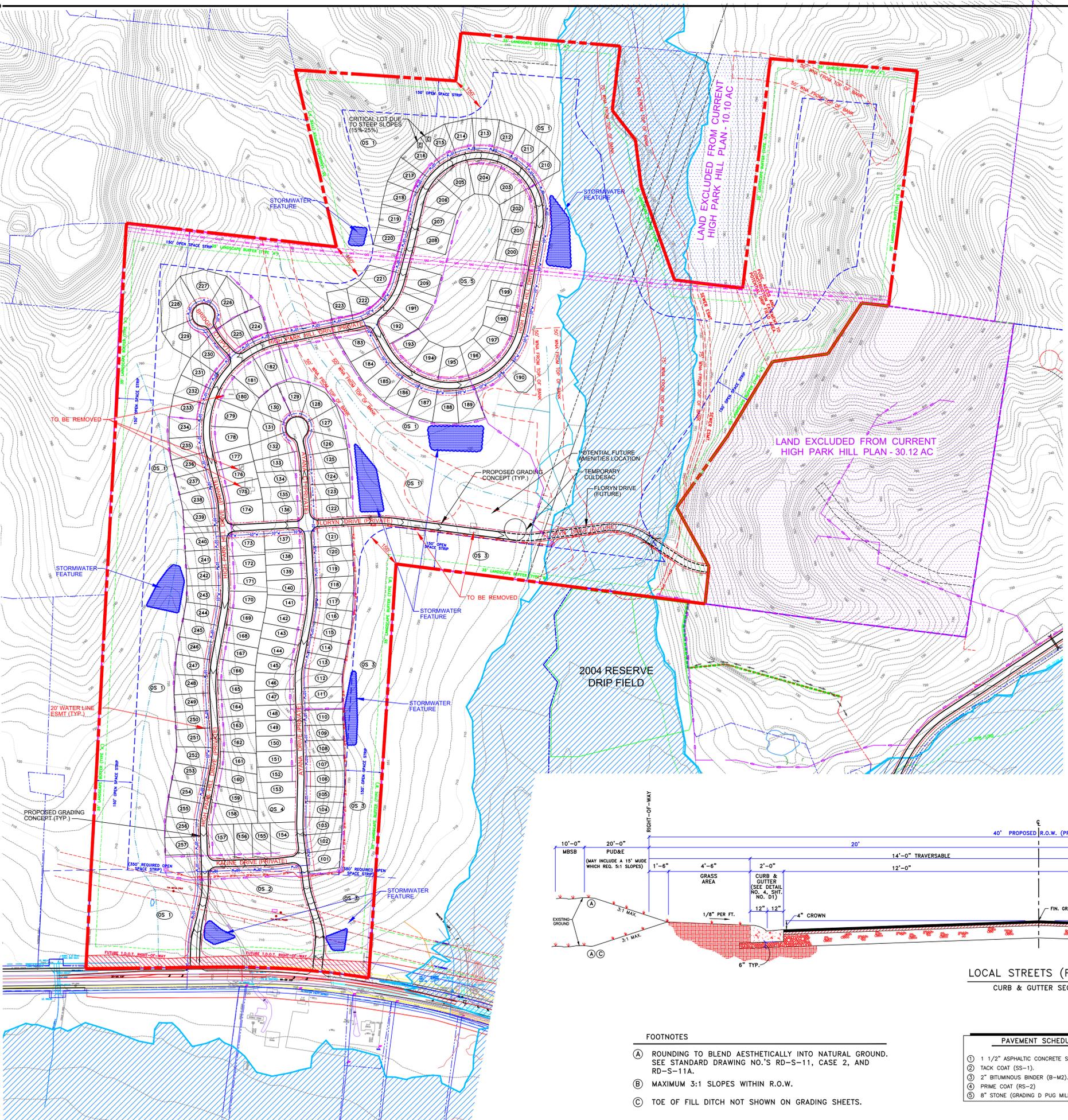
ENLARGED CONCEPT PLAN (1"=100')

C1.2

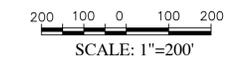
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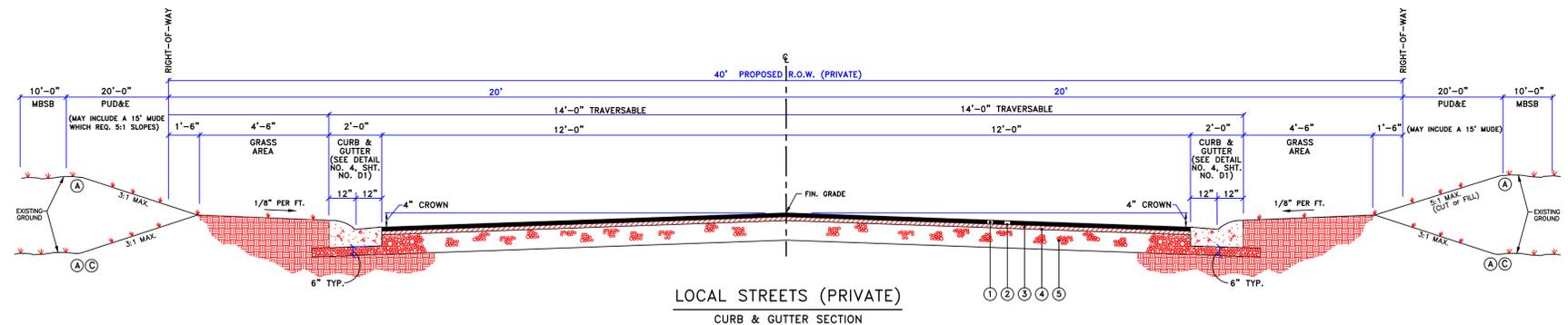
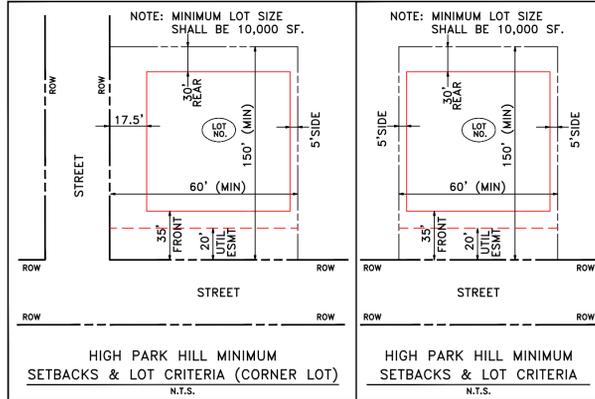
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LEGEND
 [C] = CRITICAL LOT
 (LOTS 215 AND 216)



FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)
 FIRM PANELS 47187C0240F and 47187C0380F
 EFFECTIVE DATE FOR BOTH PANELS IS 09-26-06



- FOOTNOTES**
- (A) ROUNDING TO BLEND AESTHETICALLY INTO NATURAL GROUND. SEE STANDARD DRAWING NO.'S RD-S-11, CASE 2, AND RD-S-11A.
 - (B) MAXIMUM 3:1 SLOPES WITHIN R.O.W.
 - (C) TOE OF FILL DITCH NOT SHOWN ON GRADING SHEETS.

PAVEMENT SCHEDULE

1	1 1/2" ASPHALTIC CONCRETE SURFACE (411D).
2	TACK COAT (SS-1).
3	2" BITUMINOUS BINDER (B-M2).
4	PRIME COAT (RS-2)
5	8" STONE (GRADING D PUG MILL MIX)

- GENERAL NOTES**
1. CONSTRUCTION SHALL CONFORM TO TENNESSEE DEPARTMENT OF TRANSPORTATION TECHNICAL SPECIFICATIONS, LATEST REVISION.
 2. IF SIDEWALKS ARE ADDED IN THE FUTURE, THEY WILL BE CONSTRUCTED OUTSIDE THE 40' R.O.W. IN AN ACCESS EASEMENT.
 3. ALL ROADS SHALL BE PRIVATE.

HIGH PARK HILL SUBDIVISION - CONCEPT PLAN
GEORGE M. ROBERTS / MARY L. HILL, BETH A. HILL
 TAX MAP 109, PARCELS 23 AND 38
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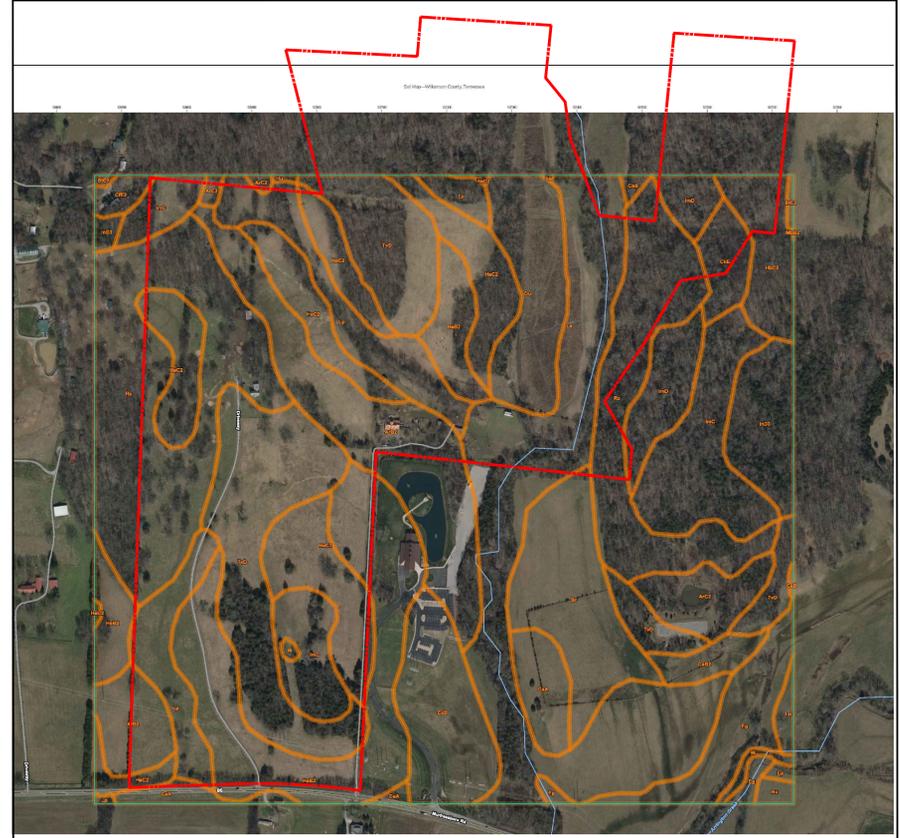
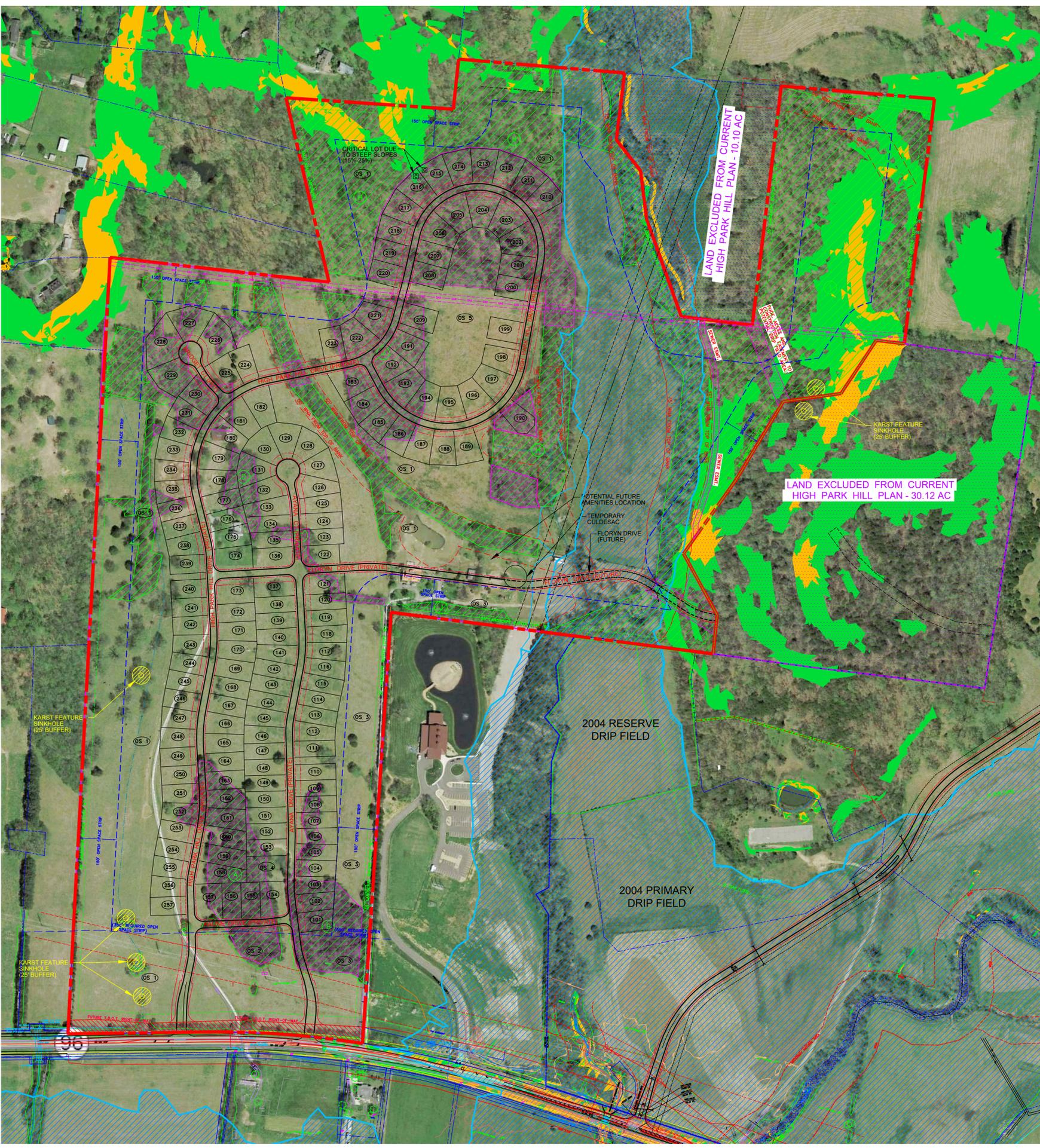
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UTILITIES AND ENGINEERING

C2.0

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SOILS
N.T.S.

STEEP SLOPES LEGEND

15%-24.99%

+25%

TREE CANOPY LEGEND

EXISTING TREE CANOPY

EXISTING TREE CANOPY (TO BE REMOVED)

EXISTING TREE CANOPY		TOTAL CANOPY	CANOPY REMOVED	CANOPY RETAINED
AREA	SF	AC	AC	AC
A	154,194	3.54	3.54	0.00
B	123,450	2.83	2.56	0.27
C	57,450	1.32	0.22	1.10
D	31,500	0.72	0.72	0.00
E	21,250	0.49	0.49	0.00
F	147,450	3.38	1.99	1.39
G	320,500	7.36	4.19	3.17
H	1,006,000	23.09	9.49	13.60
I	1,066,000	24.47	1.45	23.03
J	14,000	0.32	0.00	0.32
TOTAL	2,941,794	67.53	24.65	42.88

LEGEND

C = CRITICAL LOT (LOTS 215 AND 216)

SITE ACREAGE	161.03 AC.
EXIST. TREE CANOPY	67.53 AC.
EXIST. TREE CANOPY %	42%
WILLIAMSON COUNTY %	
TREE CANOPY RETAINED (MIN)	63%
TREE CANOPY RETAINED	42.88 AC.
TREE CANOPY % RETAINED	64%

NOTE: THIS SITE HAS BEEN REVIEWED FOR THE PRESENCE OF STEEP SLOPES AND KARST FEATURES - AREAS FALLING WITHIN THESE CATEGORIES ARE NOTED ON THIS PLAN. HILLTOPS, RIDGETOPS AND SLIPPAGE SOILS ARE NOT PRESENT ON THIS SITE.

NOTE: THIS PROPERTY HAS BEEN REVIEWED FOR THE EXISTENCE OF INTERMITTENT AND PERENNIAL STREAMS. STREAMS THAT WOULD REQUIRE WATERWAY NATURAL AREAS AS DESCRIBED IN SECTION 4 OF THE WILLIAMSON COUNTY STORM WATER MANAGEMENT REGULATIONS HAVE BEEN LOCATED AS SHOWN.



SULLIVAN ENGINEERING, INC.
P.O. BOX 1708 / BRENTWOOD, TN 37024

STATE OF TENNESSEE
JULY 1, 2020
8-17-20

HIGH PARK HILL SUBDIVISION - CONCEPT PLAN

GEORGE M. ROBERTS / MARY L. HILL, BETH A. HILL

TAX MAP 109, PARCELS 23 AND 38

ARRINGTON, WILLIAMSON COUNTY, TN 37014

ORIGINAL ISSUE DATE: JULY 1, 2020
SEI PROJECT NO.: 19-006
DRAWN BY: WRW
CHECKED BY: RDS

REVISIONS

#	DATE	DESCRIPTION

NATURAL RESOURCES PLAN

C3.0

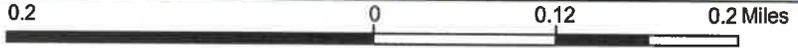
ATTACHMENT 34-2



Legend

- Parcels
- Notes
- Miscellaneous
- Easement
- Exemptions
- Conflicts
- Lines
- Corporate Limits
- BRENTWOOD
- FAIRVIEW
- FRANKLIN
- NOLENSVILLE
- SPRING HILL
- THOMPSONS STATION
- Parks
- Centerlines
- <all other values>
- INTERSTATE
- ACCESS
- LOCAL STREETS
- MAJOR ARTERIAL
- MAJOR COLLECTOR
- MINOR ARTERIAL
- MINOR COLLECTOR
- NO NAME
- UNCLASSIFIED

Notes



NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

ATTACHMENT 34-3

KCI Technologies, Inc. | 1101 17th Avenue South | Nashville, TN 37212 | main: 615.370.8410 | www.kci.com

June 25, 2019

Mr. Michael Matteson
Planning Director
Williamson County
1320 West Main Street, Suite 400
Franklin, TN 37064

Re: TIS Review – High Park Hill
Williamson County, Tennessee

Dear Mike:

We have completed our review of the Traffic Impact Study (TIS) for the High Park Hill residential development, prepared by The Corradino Group, LLC in May of 2019 and revised in June of 2019. Our comments in regards to this document are as follows:

Proposed Development

The High Park Hill Traffic Impact Study, dated June 2019, was completed by The Corradino Group, LLC, on behalf of M2 Group, LLC. The proposed site is a residential development that is proposed to be constructed on the north side of Murfreesboro Road (Highway 96) approximately 0.5 miles east of Wilson Pike, in Williamson County, Tennessee. The total property consists of approximately 202 acres that are currently zoned as RD-1 (Rural Development District 1). Based on information provided to us and included in the TIS, it is our understanding that the proposed development will be constructed by 2022. The site plan shows two accesses to the development with one on Murfreesboro Road (Highway 96) approximately 1,230 feet east of Cox Road, and one access to the adjacent property, east of the project site.

Traffic Volumes

All peak hour traffic counts were conducted on a typical weekday in May 2018 when Williamson County public schools were in session with the exception of the intersection of Wilson Pike and Osburn Road, which was conducted in October 2018. In addition, 24-hour tube counts were also conducted on Murfreesboro Road (Highway 96) and Wilson Pike in the vicinity of the project site. Background traffic was established for the 2022 horizon according to standard procedures utilizing historical TDOT annual average daily traffic (AADT) on Murfreesboro Road (Highway 96) east of the project site. Based on this data, the existing traffic volumes were increased by 1% per year for four years to account for growth in traffic volume prior to the completion in 2022. In addition to general background growth, additional site-specific traffic was included to account for trips generated by the following four developments: Fiddlers Glen, Arrington Ridge, Pine Creek Subdivision, and Hardeman Springs.

MEMORANDUM

Date: June 25, 2019

Re: TIS Review – High Park Hill

In estimating the traffic impacts of the proposed development, the peak hour trips generated by the proposed land use were calculated using standard procedures and factors taken from ITE's Trip Generation, 10th Edition. By 2022, the completed development is expected to produce approximately 1,694 new trips per day with 125 new trips in the AM peak hour and 169 new trips in the PM peak hour.

These trips were distributed throughout the study area based on proposed access and existing travel patterns. The directional distribution utilized in the TIS indicates that the traffic generated by the development will be oriented as follows:

- 45% to/from the west on Murfreesboro Road (Highway 96)
- 40% to/from the east on Murfreesboro Road (Highway 96)
- 3% to/from the east on Osburn Road
- 9% to/from the north on Wilson Pike
- 3% to/from the south on Cox Road

This directional distribution is generally consistent with current travel patterns as well as the proposed access to the project site.

Capacity Analyses

In accordance with the traffic study scoping, discussed during a scoping meeting on 10/9/19 with KCI, the County, and the traffic consultant, the TIS included capacity analyses for the following intersections under existing, background, and projected conditions:

- Murfreesboro Road (Highway 96) and Wilson Pike
- Murfreesboro Road (Highway 96) and Cox Road
- Murfreesboro Road (Highway 96) and Site Access
- Wilson Pike and Osburn Road

Additionally, projected capacity analyses were conducted with the inclusion of TDOT's planned widening on Murfreesboro Road (Highway 96) near the project site. All capacity analyses were prepared according to standard traffic engineering methodologies as outlined in the Highway Capacity Manual 2010 (HCM). With the current laneage, the results of the capacity analyses show that all but two of the critical turning movements at the study intersections are expected to operate at LOS D or better during both peak hours following the completion of the proposed High Park Hill residential development. Both the southbound left turn at Murfreesboro Road (Highway 96) and Wilson Pike as well as the northbound approach at Murfreesboro Road (Highway 96) and Cox Road are expected to operate at LOS F during both peak hours under projected conditions. Following the widening of Murfreesboro Road (Highway 96) to five lanes, which also includes the signalization of the Cox Road and Wilson Pike intersections, these minor street approaches are expected to operate at LOS D or better in both peak hours with both intersections operating at LOS B or better overall in both peak hours.

MEMORANDUM

Date: June 25, 2019

Re: TIS Review – High Park Hill

Left & Right Turn Deceleration Lane Analysis

The TIS evaluated the need for a left turn lane at the intersection of Murfreesboro Road (Highway 96) and Access 1 upon completion of the development based on guidelines outlined in M.D. Harmelink's Volume Warrants for Left-Turn Storage Lanes at Unsignalized Intersections. Based on projected volumes at this location, an eastbound left turn lane is warranted on Murfreesboro Road (Highway 96) at this location. The TIS did not include an analysis of need for a right turn lane at the site access on Murfreesboro Road; however, based on NCHRP Report 457: Engineering Study Guide for Evaluating Intersection Improvements, it is not expected that the projected traffic volumes would warrant an exclusive westbound right turn lane on Murfreesboro Road (Highway 96) at this location.

The TDOT improvements along Murfreesboro Road (Highway 96) include the provision of left turn lanes at the intersections of Wilson Pike and Cox Road. In addition, as part of the TDOT project, the Cox Road approach will be widened to add an exclusive left turn lane for the northbound left turn movement from Cox Road to Murfreesboro Road (Highway 96).

Site Accesses

Two accesses will be provided for the proposed High Park Hill residential development. The primary access (Access 1) will intersect Murfreesboro Road (Highway 96) approximately 1,230 feet east of Cox Road. The secondary access (Access 2) will provide a connection to adjacent property and future development to the east. This secondary access will not be constructed until approximately 99 residential homes in the High Park Hill development are constructed. Information documented in the TIS indicates that sufficient intersection sight distance, as specified in the AASHTO Policy on the Geometric Design of Highways and Streets is available at the access point on Murfreesboro Road (Highway 96).

Conclusions

The TIS prepared by The Corradino Group, LLC in June of 2019 includes the following recommendations to be implemented with construction of the High Park Hill residential development:

Recommended Improvements

1. Access 1 should provide separate left and right turn lanes and be stop controlled on the southbound approach.
2. The eastbound approach on Murfreesboro Road (Highway 96) should provide a left turn lane with 150 feet of storage and designed according to TDOT and AASHTO Standard Guidelines.

Based on our review of the TIS we concur with the recommendations presented. In addition, we have the following comments:

MEMORANDUM

Date: June 25, 2019

Re: TIS Review – High Park Hill

1. Given that they are state highways, any improvements to Murfreesboro Road (Highway 96) and Wilson Pike will need to be reviewed and approved by TDOT. All improvements should be designed to AASHTO and TDOT standards.
2. According to the Williamson County Zoning Ordinance Section 19.06, "if right-of-way has been obtained for roadway improvements that would provide additional capacity, and if the County determines that public funds have been committed that would provide for the completion of these roadway improvements prior to the completion of the proposed development, then the capacity of the traffic shed(s) may be adjusted to account for the additional roadway capacity that would be provided by such improvements". The timeline for TDOT's completion of the Murfreesboro Road (Highway 96) widening project is currently unknown; therefore, the applicant is not permitted to take advantage of these improvements in the analysis of projected conditions at this time. As such, the construction of units within the High Park Hill development should be limited to the density allowed by the County's traffic shed methodology until it can be demonstrated to the County's satisfaction that the Murfreesboro Road improvements will be completed prior to completion of the proposed subdivision. In order to make this determination, the contract for constructing the improvements must be let and documentation regarding the projected construction schedule as all as the projected buildout of the subdivision must be submitted. Based on an allowable density of 0.2 units/acre per the traffic shed analysis, the High Park Hill subdivision is allowed to generate 41 trips in the PM peak hour. Using ITE trip generation methods, the High Park Hill subdivision should therefore be limited to 39 units, which is approximately 23% of the overall development until the funding for the widening of Murfreesboro Road (Highway 96) and complementing improvements has been committed. Should the County determine that the completion date of TDOT's widening project will occur prior to the planned completion of the proposed High Park Hill subdivision, construction of additional units may be allowed.

We appreciate the opportunity to provide our feedback and hope this information assists to facilitate your review of this project. Please contact me if you have any questions regarding this review or if you need any additional information.

Sincerely,



Bob Murphy, P.E., PTOE, RLS
KCI Technologies, Inc.

MEMORANDUM

To: Aaron Holmes, Williamson County, Planning Coordinator
From: Robert Murphy, P.E., PTOE, RLS
Re: High Park Hill
Date: August 6, 2020

The purpose of this memo is to provide an updated recommendation regarding the allowable density of the High Park Hill residential development as a result of the upcoming TDOT project to widen Murfreesboro Road (Highway 96).

In June 2019, KCI reviewed the Traffic Impact Study for the High Park Hill project, a proposed 157 lot single family residential development located on the north side of Murfreesboro Road, east of Cox Road. Based on our review of the study we prepared a letter dated June 25, 2019 which outlined our recommendations for the project. One of the key recommendations addressed the allowable development density for this project based on application of the County's traffic shed methodology and, on the fact, that the timeline for TDOT's completion of the project to widen Murfreesboro Road to five lanes was currently unknown at that time. Our recommendation regarding the allowable density included the following:

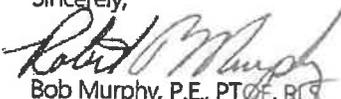
"...The timeline for TDOT's completion of the Murfreesboro Road (Highway 96) widening project is currently unknown ...the High Park Hill subdivision should therefore be limited to 39 units, which is approximately 23% of the overall development until the funding for the widening of Murfreesboro Road (Highway 96) and complementing improvements has been committed."

Williamson County recently received from TDOT the contract for the proposed widening project which included an "INSTRUCTION TO BIDDERS", dated June 25, 2020. This information is clear evidence that the Murfreesboro Road widening is a committed TDOT project and as a result we believe it is appropriate to modify our initial recommendation regarding the allowable density. Therefore, our current recommendation for the allowable development density for High Park Hill is as follows:

- The development density for the High Park Hill development should be limited to equal a maximum of 25% of the total lots per year. Based on the total projected lot count of 157, this 25% should equate to approximately 39 lots per year.

Please contact me if you have any questions regarding this information.

Sincerely,


Bob Murphy, P.E., PTOE, RLS
KCI Technologies, Inc.

ATTACHMENT 34-4



July 18, 2019

Mr. Mike Matteson, Director
Williamson County Planning Department
Administrative Complex
1320 West Main Street
Franklin, TN 37067

RE: **Superior Wastewater Systems Utility District (King's Chapel) DDR
Modifications #4
SSR No. 11-41-017.0**

Dear Mr. Matteson:

As requested, we have reviewed the submitted information for the most recent requested modifications to the wastewater system for Superior Wastewater Systems U.D. The DDR is submitted in support of a request to increase the capacity of the treatment system by utilizing a new treatment process and increasing the loading rate for the drip disposal fields from 0.20 gpd/sf to 0.21 gpd/sf.

A review of the soils report from 2008 shows that the soils are capable of accommodating the requested increase in loading rate. The submittal includes a copy of the State Operating Permit for the new treatment technology.

We have reviewed the amended DDR and site plan and have enforced the requirements of Article 20 of the Williamson County Zoning Ordinance. We find that the applicant has met the required conditions and recommend approval.

As requested, we recommend performance bond amounts as follows:

Treatment and Disposal System: Modifications to Existing System for Superior Wastewater Systems:

Construction Cost of \$1,271,900 x 30% = **\$381,600.00**

Sincerely,

SMITH SECKMAN REID, INC.



Bo Butler, P.E.

ITEM 35

AMENDMENT TO THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING THE CREATION OF AND STANDARDS FOR THE TRIUNE CHARACTER AREA-1 (TCA-1), TRIUNE CHARACTER AREA-2 (TCA-2), TRIUNE CHARACTER AREA-3 (TCA-3), AND TRIUNE CHARACTER AREA-4 (TCA-4) ZONING DISTRICTS AND AMENDMENT TO THE OFFICIAL ZONING MAP TO APPLY THE NEW TCA ZONING DISTRICTS

Attachment	35-1	Proposed Text Amendment
	35-2	Proposed Map Amendment
	35-3	Resolution

File Number (6-2020-01)

In November of 2018, the Williamson County Regional Planning Commission voted unanimously to adopt the Triune Special Area Plan, which created a long-term vision for the Triune community based on extensive citizen participation. Since that time, Planning Department Staff has been working with the Triune Citizens Advisory Committee and the Triune community to develop a tailored set of development standards that will apply only to the Triune study area, and will help to implement the vision articulated in the Plan.

The result of this process is the creation of four (4) new Zoning Districts: Triune Character Area-1 (TCA-1), Triune Character Area-2 (TCA-2), Triune Character Area-3 (TCA-3), and Triune Character Area-4 (TCA-4). These districts will collectively take the place of the generic Village (V) District, the 840 Center (840-C) District and will expand to encompass the full study area boundary as outlined in the Triune Special Area Plan. All of the proposed changes to the Zoning Ordinance text are included in Attachment 35-1.

In addition to the changes outlined above, the proposed Map Amendment (See Attachment 35-2) reflects the transition from the existing Zoning Districts to the applicable Triune Districts.

The proposed amendments were presented to the Triune community in the fall of 2019, and have been posted on the County's website since that time.

All public notice requirements regarding these Amendments have been met.

Staff recommends approval of the proposed Text and Map Amendments, and that the attached Resolution (See Attachment 35-3) be forwarded to the County Commission for adoption.

Reviewer: MM
Date: 10/8/20

ATTACHMENT 35-1

Proposed Changes to Article 10, Section 10.02-Williamson County Zoning Ordinance regarding the Triune Character Area zoning districts.

Amend Section 10.02 (U): Triune Village District (TV) as follows:

(U) Triune Character Area-I (TCA-I)

(1) Purpose and Intent

The purpose of the Triune Character Area-I (TCA-I) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area I recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-21 establishes the dimensional standards for the TCA-I district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-21: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-I (TCA-I)

Dimensional Standards		Residential Structures		Nonresidential Structures
Minimum Lot Area		Traditional Subdivision	5 acres	5 acres
		Conservation Subdivision	1.5 acres	
Maximum Gross Residential Density		1 unit per 5 acres (0.20 DU/A)		N/A
Minimum Lot Width	1 – 2.99 acres	130 feet		60 feet
	3 – 4.99 acres	160 feet		
	5 acres or greater	200 feet		
Front Yard Setback		0.0-4.99 acres	60 feet	100 feet
		5.00 acres or greater	100 feet	
Side Yard Setback		0.0-4.99 acres	20 feet	50 feet
		5.00 acres or greater	30 feet	
Rear Yard Setback		60 feet		50 feet
Maximum Height		3.0 stories		3.0 stories

(3) Additional Conservation Subdivision Standards

- a) A minimum of twenty-five (25) percent of the Open Space provided in Conservation Subdivisions within the TCA-I zoning district must consist of unconstrained land that does not contain natural resources as outlined in Article 13 of the Zoning Ordinance.
- b) All healthy deciduous trees with a diameter at breast height (DBH) of 28 inches or greater, along with the drip line of such trees, shall be

preserved in permanently protected Open Space. Such trees shall only be allowed to be removed according to the following:

- i) If a certified arborist has determined that the tree is dying or structurally unsound; or
- ii) If it can be demonstrated that removal of such tree(s) is necessary in order to gain access to the site. In such cases, replacement trees shall be provided at a rate of two (2) caliper inches for each caliper inch of tree removed.
- iii) If trees meeting the above criteria are removed for any other reason, replacement trees shall be provided at a rate of three (3) caliper inches for each caliper inch of tree removed.

(4) Multi-modal Greenway Trails

- a) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - i) All new major subdivisions consisting of five (5) or more lots;
 - ii) All new non-residential development;
 - iii) All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - iv) All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- b) Where the Triune Special Area Plan shows a potential future greenway on a development property that does not fall into one of the above categories but for which County approval is required, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance.
- c) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

Proposed Changes to Article 10, Section 10.02-Williamson County Zoning Ordinance regarding the Triune Character Area zoning districts.

Add New Section 10.02 (V): Triune Character Area-2 (TCA-2)

(V) Triune Character Area-2 (TCA-2)

(1) Purpose and Intent

The purpose of the Triune Character Area-2 (TCA-2) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 2 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-22 establishes the dimensional standards for the TCA-2 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-22: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-2 (TCA-2)

Dimensional Standards		Residential Structures		Nonresidential Structures
Minimum Lot Area		Parcels on State Highways	1 acre	5 acres
		All other parcels	½ acre	
Maximum Gross Residential Density		2.0 units per 1 acre		N/A
Minimum Lot Width	Parcels on State Highways		150 feet	150 feet
	All other Parcels	0.50 - 0.99 acre	75 feet	75 feet
		1.0 – 2.99 acres	100 feet	
		3.0 – 4.99 acres	130 feet	
		5.0 acres or greater	160 feet	
Front Yard Setback	Parcels on State Highways		40 feet, with a maximum setback of 50 feet [1][2]	
	All other Parcels		20 feet, with a maximum setback of 30 feet	
Side Yard Setback		5 feet, but 20 feet on corner lots [1]		
Rear Yard Setback		30 feet		
Maximum Building Size	Parcels on State Highways		25,000 sq. ft. [3]	

	All other Parcels	16,000 sq. ft. [3]
Maximum Building Footprint	Parcels on State Highways	15,000 sq. ft. [3]
	All other Parcels	10,000 sq. ft. [3]
Maximum Height		2.0 stories for street-facing elevations, with a maximum of 3.0 stories on other elevations
<p>General Notes:</p> <p>[1] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".</p> <p>[2] The Maximum Setback Standards do not apply to religious institutions or educational facilities.</p> <p>[3] The Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.</p>		

(3) Design Standards

a) Parking and Access

- i) New off-street parking must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.
- ii) For parcels on State Highways, up to twenty-five (25) percent of the parking may be in the front of buildings.
- iii) Where the Triune Special Area Plan shows a potential future roadway on a development property, the site shall be designed in such a way as to provide an internal drive that is stubbed to adjacent properties as appropriate in order to allow for the future extension of such internal drive.

b) Building Orientation and Setbacks

- i) New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
- ii) In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
- iii) In cases where a maximum setback is required, the following standards will apply:
- iv) The maximum setback applies to new structures, not additions to existing structures;
 - A. The maximum setback is met if a minimum of 60% of the front building façade does not exceed this distance;
 - B. In cases where there is more than one building on the parcel, the maximum setback applies to the structure with the largest street-facing façade; and
 - C. Structures with front facing patios for outdoor dining falling between the building and the front property line may be set back to a maximum distance of forty (40) feet from the front property line.

c) Façade Articulation/Fenestration

- i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and

twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.

- ii) A minimum of thirty (30) percent of the front façade shall either be two stories in height, or shall be designed so as to appear to be two stories in height. This can be accomplished by providing “upper story” windows on one or more of the following:
 - A. Gable walls
 - B. Non-gabled walls with a height of at least 20 feet
 - C. Dormers
- iii) In cases where building facades will be wider than 35 feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.
- iv) In multi-tenant buildings, each individual tenant space with a first floor exterior entrance shall be differentiated from adjoining such tenant spaces by creating variations within the front façade. These variations may include materials, texture, color or detail, a change in wall plane, or a change in roofline.

d) Roof Form

- i) Roof forms shall be gabled or hipped, with at least one gable end facing the street.
- ii) The minimum roof pitch required is as follows:
 - A. Buildings facing State Highways must have a minimum roof pitch of 5:12; and
 - B. Buildings facing all other streets must have a minimum roof pitch of 7:12.

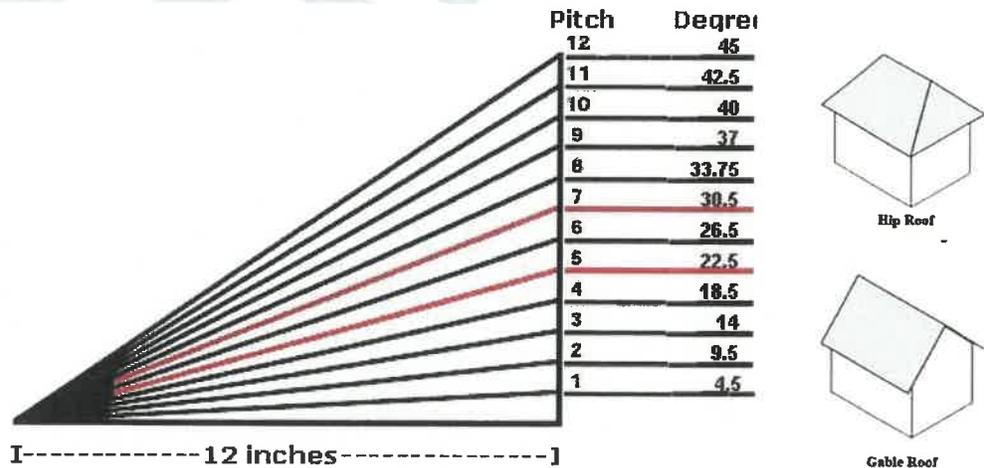


Figure 10.02-F: Minimum Required Roof Pitch

- iii) Buildings with a footprint of greater than 7,500 feet may have a flat roofwell located in the central area of the roof, not to exceed fifty (50) percent of the roof area, with a pitched roof design on

all sides of the building. The height of the partial pitched roof profile must be at least fifty (50) percent of the height of the façade when two-stories and at least seventy-five (75) percent of the height of the façade when one-story.

- iv) Roof eave overhangs shall be a minimum of 1 foot.
- v) Mechanical and other roof-mounted equipment shall be screened from view.

(4) Pedestrian Amenities

a) Sidewalks

- i) A sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - A. All new single family dwellings;
 - B. Major subdivisions;
 - C. All new non-residential development;
 - D. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - E. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- ii) Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- iii) For properties that do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

b) Multi-modal Greenway Trails

- i) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new major subdivisions consisting of five (5) or more lots.
- ii) Where the Triune Special Area Plan shows a potential future greenway on a development property falling into one of the following categories, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance:
 - A. All new nonresidential development;

- B. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
- C. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- iii) Development that does not fall within one of the above categories but for which County approval is required.
- iv) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(5) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- a) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b) There shall be a maximum of six (6) dwelling units in any single building.
- c) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-G: Linear Multi-Family Dwelling Arrangement.

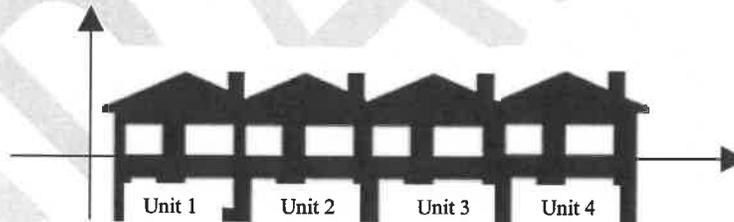


Figure 10.02-G: Linear Multi-Family Dwelling Arrangement

- d) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- e) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- g) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.

- h) There shall be a minimum of forty (40) feet of separation between buildings.
- i) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- j) Parking areas, including garages, shall be located in the rear of the building.
- k) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- l) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- m) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- n) If the development site abuts one or more side street, access must be taken from a side street, rather than from an arterial or collector road.

(6) Open Space

a) Non-Residential Development

- i) A minimum of thirty five (35) percent open space shall be required.
- ii) New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to twenty five (25) percent.

b) Major Traditional Subdivisions

- i) A minimum of twenty (20) percent open space shall be required.

(7) Signage

- a) All signage requirements of Article 18 of the Zoning Ordinance must be met. In addition, ground signs shall only be permitted for parcels containing multiple businesses or tenants.
- b) New ground signs must be monument style signs with a masonry base.

Proposed Changes to Article 10, Section 10.02-Williamson County Zoning Ordinance regarding the Triune Character Area zoning districts.

Add New Section 10.02 (W): Triune Character Area-3 (TCA-3)

(W) Triune Character Area-3 (TCA-3)

(1) Purpose and Intent

The purpose of the Triune Character Area-3 (TCA-3) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 3 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-23 establishes the dimensional standards for the TCA-3 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-23: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-3 (TCA-3)

Dimensional Standards	Residential Structures		Nonresidential Structures
Minimum Lot Area	Traditional Subdivision	½ acre	1 acre
	Conservation Subdivision	8,000 sq. ft [1]	
	Multi-Family Uses	1 acre	
Maximum Gross Residential Density	2.0 units per 1 acre		N/A
Minimum Lot Width	Traditional Subdivision	75 feet	150 feet
	Conservation Subdivision	40 feet	
	Multi-Family Uses	150 feet	
Front Yard Setback	Parcels on State Highways		
	50 feet, with a maximum setback of 75 feet [2][3]		
	Traditional Subdivision	35 feet	35 feet, with a maximum setback of 50 feet [3]
	Conservation Subdivision	25 feet, 15 feet for alley loaded lots	
	Multi-Family Uses	35 feet	
Side Yard Setback	Traditional Subdivision	10 feet	5 feet, but 20 feet on corner lots [2]

	Conservation Subdivision	5 feet	
	Multi-Family Uses	10 feet	
Rear Yard Setback	Traditional Subdivision	30 feet	30 feet
	Conservation Subdivision	30 feet, 15 feet for alley loaded lots	
	Multi-Family Uses	30 feet	
Maximum Building Size	N/A		70,000 sq. ft. [4]
Maximum Building Footprint	N/A		45,000 sq. ft. [4]
Maximum Height	3.0 stories		
General Notes:			
[1] The minimum lot size may be reduced to 6,000 square feet for up to 50% of the lots provided that any lot that is less than 8,000 square feet is surrounded by Open Space or lots of 8,000 square feet or greater.			
[2] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".			
[3] The Maximum Setback Standards do not apply to Religious Institutions or Educational Facilities.			
[4] The Maximum Building Size requirements do not apply to Religious Institutions or Educational Facilities.			

(3) Design Standards

a) Parking and Access

- i) A minimum of seventy-five (75) percent of new off-street parking must be located to the side or rear of buildings and may be no closer to the street than the front façade of the building.
- ii) Where the Triune Special Area Plan shows a potential future roadway on a development property, the site shall be designed in such a way as to provide an internal drive that is stubbed to adjacent properties as appropriate in order to allow for the future extension of such internal drive.

b) Building Orientation and Setbacks

- i) New buildings shall be oriented toward the street rather than the parking area and shall provide at least one entrance on the street-facing façade.
- ii) In cases where there is more than one building on the parcel, the orientation requirement shall only apply to the structure(s) closest to the right-of-way.
- iii) In cases where a maximum setback is required, the following standards will apply:
 - A. The maximum setback applies to new structures, not additions to existing structures;
 - B. The maximum setback is met if a minimum of 60% of the front building façade does not exceed this distance; and
 - C. In cases where there is more than one building on the parcel, the maximum setback applies to the structure with the largest street-facing façade.

c) Façade Articulation/Fenestration

- i) Building facades should be varied and articulated to provide visual interest. A minimum of forty (40) percent of the first floor and twenty (20) percent of the second floor (as applicable) on the front façade shall have window/door fenestration.
- ii) In cases where building facades will be wider than 35 feet in width, the façade shall be broken up into increments not exceeding this width by varying setbacks and roof forms.

d) Trash Storage and Mechanical Equipment

- i) All trash storage areas shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- ii) All mechanical equipment shall either:
 - A. Be located in the rear of buildings and shall be screened from streets and surrounding properties; or
 - B. If located on a roof, be screened from view from adjacent streets and properties. Acceptable screening techniques include a parapet wall made of a primary exterior finish material used on other portions of the building, or setting the equipment back toward the center of the roof so that it won't be visible.

e) Gas Station Canopies

- i) The design, materials, roof pitch and other architectural details used for the canopy, including the columns, shall match those used for the principal building and shall ensure that the canopy will appear as a subordinate structure through one or more of the following:
 - A. The canopy is located behind the principal building;
 - B. The canopy is physically connected to the principal building and the connection shall be wide enough to cover a pedestrian walkway;
 - C. The length of the canopy is less than the length of the principal building; or
 - D. The height of the canopy is less than the average height of the principal building.
- ii) The canopy shall have a maximum clearance height of 16 feet, as measured from the finished grade to the underside of the canopy.
- iii) Canopy lighting shall be fully recessed into the canopy and the roof structure shall not be internally illuminated in such a way as to allow light to show through the roof structure.
- iv) All signage, including logos and trademarks, are prohibited on the canopy and canopy supports. This prohibition does not include noncommercial information located on support structures provided the size of the information shall be the minimum necessary to convey such noncommercial information

(4) Pedestrian Access

a) Sidewalks

- i) A sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - A. All new single family dwellings;
 - B. Major subdivisions;
 - C. All new non-residential development;
 - D. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - E. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- ii) Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- iii) For properties that do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

b) Multi-modal Greenway Trails

- i) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new major subdivisions consisting of five (5) or more lots.
- ii) Where the Triune Special Area Plan shows a potential future greenway on a development property falling into one of the following categories, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance:
 - A. All new nonresidential development;
 - B. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - C. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.

- D. Development that does not fall within one of the above categories but for which County approval is required.
- iii) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(5) Open Space

a) Non-Residential Development

- i) A minimum of thirty five (35) percent open space shall be required.
- ii) New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to twenty five (25) percent.

b) Major Traditional Subdivisions

- i) A minimum of twenty (20) percent open space shall be required.

c) Conservation Subdivisions

- i) A minimum of fifty (50) percent open space shall be required.

(6) Signage

New ground signs must be monument style signs with a masonry base.

(7) Additional Standards for Multi-tenant developments

- a) In multi-tenant buildings, each individual tenant space with a first floor exterior entrance shall be differentiated from adjoining such tenant spaces by creating variations within the front façade. These variations may include materials, texture, color or detail, a change in wall plane, or a change in roofline.
- b) Multi-tenant developments consisting of 5 or more tenant spaces shall incorporate on-site outdoor common spaces or community amenities as visible, accessible, focal points. Common spaces shall be connected, to the maximum extent practicable, to pedestrian areas, sidewalks, trails or public open space in order to create functional pedestrian connectors. The following features may be used to satisfy the common space or community amenity standard:
 - i) Patio or plaza with seating and landscaping;
 - ii) Landscaped mini-park or square;
 - iii) Rooftop or community garden; or
 - iv) Similar features as approved by the Planning Commission upon recommendation of the Planning Director.
- c) Common spaces and community amenities shall be constructed of materials that are of a comparable quality and of a compatible design as the building they are attached to or the public space in which they are placed.

(8) Additional Conservation Subdivision Standards

- a) A minimum of 25% of the Open Space provided in Conservation Subdivisions within the TCA-3 zoning district must consist of unconstrained land that does not contain natural resources as outlined in Article 13 of the Zoning Ordinance.
- b) All healthy deciduous trees with a diameter at breast height (DBH) of 28 inches or greater, along with the drip line of such trees, shall be preserved in permanently protected Open Space. Such trees shall only be allowed to be removed according to the following:
 - i) If a certified arborist has determined that the tree is dying or structurally unsound; or
 - ii) If it can be demonstrated that removal of such tree(s) is necessary in order to gain access to the site. In such cases, replacement trees shall be provided at a rate of two (2) caliper inches for each caliper inch of tree removed.
 - iii) If trees meeting the above criteria are removed for any other reason, replacement trees shall be provided at a rate of three (3) caliper inches for each caliper inch of tree removed.
- c) All lots with an area of less than 8,000 square feet or a width of less than 60 feet shall have garage access from a rear alley. Alleys shall be privately owned and maintained by the subdivision's Homeowner's Association and this maintenance responsibility shall be specifically noted in the covenants and restrictions for the subdivision.

(9) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- a) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b) There shall be a maximum of ten (10) dwelling units in any single building.
- c) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-H: Linear Multi-Family Dwelling Arrangement.

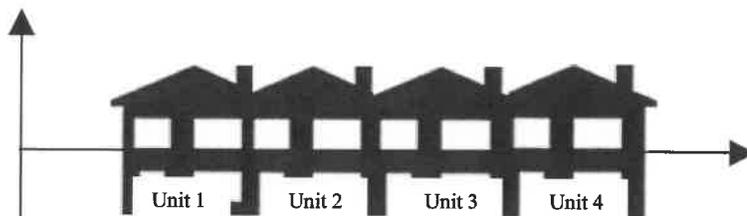


Figure 10.02-H: Linear Multi-Family Dwelling Arrangement

- d) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- e) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- g) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- h) There shall be a minimum of forty (40) feet of separation between buildings.
- i) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- j) Parking areas, including garages, shall be located in the rear of the building.
- k) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- l) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.
- m) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- n) If the development site abuts one or more side streets, access must be taken from a side street, rather than from an arterial or collector road.

Proposed Changes to Article 10, Section 10.02-Williamson County Zoning Ordinance regarding the Triune Character Area zoning districts.

Add New Section 10.02 (X): Triune Character Area-4 (TCA-4)

(X) Triune Character Area-4 (TCA-4)

(1) Purpose and Intent

The purpose of the Triune Character Area-4 (TCA-4) zoning district is to help implement the vision and policies of the Triune Special Area Plan. The development standards established for this district are intended to help ensure that future development is consistent with the Character Area 4 recommendations outlined in the Plan.

(2) Dimensional Standards

- a) Table 10.02-24 establishes the dimensional standards for the TCA-4 district.
- b) Additional standards related to accessory uses are located in Section 11.04: Accessory Uses and Structures.

TABLE 10.02-24: DIMENSIONAL STANDARDS FOR TRIUNE CHARACTER AREA-4 (TCA-4)

Dimensional Standards	Residential Structures		Nonresidential Structures
Minimum Lot Area	Traditional Subdivision	½ acre	1 acre
	Conservation Subdivision	8,000 sq. ft [1]	
	Multi-Family Uses	1 acre	
Maximum Gross Residential Density	2.0 units per 1 acre		N/A
Minimum Lot Width	Traditional Subdivision	75 feet	150 feet
	Conservation Subdivision	40 feet	
	Multi-Family Uses	150 feet	
Front Yard Setback	Parcels on State Highways		
	50 feet, with a maximum setback of 75 feet [2][3]		
	Traditional Subdivision	35 feet	35 feet, with a maximum setback of 50 feet [3]
	Conservation Subdivision	25 feet, 15 feet for alley loaded lots	
	Multi-Family Uses	35 feet	
Side Yard Setback	Traditional Subdivision	10 feet	5 feet, but 20 feet on corner lots [2]

	Conservation Subdivision	5 feet	
	Multi-Family Uses	10 feet	
Rear Yard Setback	Traditional Subdivision	30 feet	30 feet
	Conservation Subdivision	30 feet, 15 feet for alley loaded lots	
	Multi-Family Uses	30 feet	
Maximum Height	3.0 stories		
General Notes:			
[1] The minimum lot size may be reduced to 6,000 square feet for up to 50% of the lots provided that any lot that is less than 8,000 square feet is surrounded by Open Space or lots of 8,000 square feet or greater.			
[2] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".			
[3] The Maximum Setback Standards do not apply to Religious Institutions or Educational Facilities.			

(3) Pedestrian Access

a) Sidewalks

- i) A sidewalk with a minimum width of five (5) feet shall be required along the front of the property for all new construction, renovations, additions, or expansions to existing structures which fall into one of the following categories:
 - A. All new single family dwellings;
 - B. Major subdivisions;
 - C. All new non-residential development;
 - D. All additions or expansions of existing non-residential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - E. All renovations of existing non-residential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
- ii) Where a sidewalk is required, the property owner shall also record a ten (10) foot public access easement running the length of the property frontage.
- iii) For properties that do not meet the above criteria, but for which County approval is required, the property owner shall record a ten (10) foot public access easement running the length of the property frontage in order to accommodate the future construction of a sidewalk.

b) Multi-modal Greenway Trails

- i) Where the Triune Special Area Plan shows a potential future greenway on a development property, a ten (10) foot asphalt trail, along with a fifteen (15) foot public access easement, shall be required for all new major subdivisions consisting of five (5) or more lots.
- ii) Where the Triune Special Area Plan shows a potential future greenway on a development property falling into one of the

following categories, the property owner shall dedicate to the County or other governmental entity a fifteen (15) foot public access easement in order to accommodate the future construction of a greenway trail that would be owned and maintained by such governmental entity upon acceptance:

- A. All new nonresidential development;
 - B. All additions or expansions of existing nonresidential uses where the addition or expansion exceeds fifty (50) percent of the size of the existing structure; or
 - C. All renovations of existing nonresidential uses resulting in an increase of more than fifty (50) percent of the value of the structure.
 - D. Development that does not fall within one of the above categories but for which County approval is required.
- iii) Where a trail and/or public access easement is required, the exact location of the trail and/or public access easement must be agreed upon by the Planning Director or the applicable reviewing body (e.g. Planning Commission, Board of Zoning Appeals).

(4) Additional Conservation Subdivision Standards

- a) A minimum of 25% of the Open Space provided in Conservation Subdivisions within the TCA-4 zoning district must consist of unconstrained land that does not contain natural resources as outlined in Article 13 of the Zoning Ordinance.
- b) All healthy deciduous trees with a diameter at breast height (DBH) of 28 inches or greater, along with the drip line of such trees, shall be preserved in permanently protected Open Space. Such trees shall only be allowed to be removed according to the following:
 - i) If a certified arborist has determined that the tree is dying or structurally unsound; or
 - ii) If it can be demonstrated that removal of such tree(s) is necessary in order to gain access to the site. In such cases, replacement trees shall be provided at a rate of two (2) caliper inches for each caliper inch of tree removed.
 - iii) If trees meeting the above criteria are removed for any other reason, replacement trees shall be provided at a rate of three (3) caliper inches for each caliper inch of tree removed.
- c) All lots with an area of less than 8,000 square feet or a width of less than sixty (60) feet shall have garage access from a rear alley. Alleys shall be privately owned and maintained by the subdivision's Homeowner's Association and this maintenance responsibility shall be specifically noted in the covenants and restrictions for the subdivision.

(5) Multi-Family Dwellings

Multi-family dwellings shall meet the Special Use Review Standards established in Section 5.01: Special Use and shall meet each of the following standards:

- a) Each individual dwelling unit must be owned independently along with the land on which the dwelling unit sits.
- b) There shall be a maximum of ten (10) dwelling units in any single building.
- c) Dwelling units shall be arranged horizontally in a linear arrangement, having a totally exposed front and rear wall to be used for access, light, and ventilation. See Figure 10.02-I: Linear Multi-Family Dwelling Arrangement.

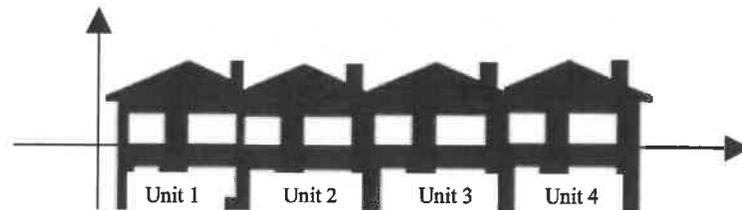


Figure 10.02-I: Linear Multi-Family Dwelling Arrangement

- d) Each dwelling unit shall have at least one (1) separate, exterior entrance on ground level, with no common interior space shared between dwelling units.
- e) Individual dwelling units shall be distinguished from adjacent dwelling units by creating variations within the front façade. Such variations may include changes in materials, texture, color or detail, a change in wall plane, or a change in roofline.
- f) Side elevations visible from a public street shall be designed in keeping with the design elements of the front façade of the corresponding dwelling unit and shall, at a minimum, provide fifteen (15) percent door and window fenestration on exterior walls.
- g) Buildings shall be oriented toward the street, or private drive if internal to the development, and designed with front porches or stoops along the front façade.
- h) There shall be a minimum of forty (40) feet of separation between buildings.
- i) The elevation of the ground floor shall be a minimum of twenty-four (24) inches above the finished grade at the front of the building.
- j) Parking areas, including garages, shall be located in the rear of the building.
- k) A minimum five (5) foot continuous sidewalk shall be required along the entire length of the front façade of each building within the development. These sidewalks shall also provide access to rear parking areas.
- l) Each dwelling unit shall include a private, ground level outdoor open space area such as a patio, porch, or small yard.

- m) All trash storage areas and mechanical equipment shall be located in the rear of buildings and shall be screened from streets and surrounding properties.
- n) If the development site abuts one or more side street, access must be taken from a side street, rather than from an arterial or collector road.

(6) Open Space

a) Non-Residential Development

- a) A minimum of thirty five (35) percent open space shall be required.
- b) New non-residential development projects which utilize pervious paving materials, such as pervious concrete, to meet parking requirements may reduce their open space requirement to twenty five (25) percent.

b) Major Traditional Subdivisions

- a) A minimum of twenty (20) percent open space shall be required.

c) Conservation Subdivisions

- a) A minimum of fifty (50) percent open space shall be required.

(7) Signage

New ground signs must be monument style signs with a masonry base.

Proposed Changes To Article 10, Table 10.07-4: Summary Table of Dimensional Standards-Village Districts. Proposed Addition to the Table are shown in Red.

Add TCA-1, TCA-2, TCA-3, and TCA-4 districts to table, and the corresponding Dimensional Standards for each district.

TABLE 10.07-4: SUMMARY TABLE OF DIMENSIONAL STANDARDS – VILLAGE DISTRICTS [1]					
District	Structure Type	Minimum Lot Area		Maximum Gross Residential Density	Maximum Height
TCA-1	Residential Structures	Traditional Subdivisions	5 acres	1.0 units per 5 acres (0.20 DU/A)	3.0 stories
		Conservation Subdivisions	1.5 acres		
	Nonresidential Structures	5 acres		Not Applicable	
TCA-2	Residential Structures	Parcels on State Highways	1 acre	2.0 units per 1 acre	2.0 stories for street-facing elevations, with a maximum of 3.0 stories on other elevations
		All other Parcels	½ acre		
	Nonresidential Structures	5 acres		Not Applicable	
TCA-3	Residential Structures	Traditional Subdivisions	½ acre	2.0 units per 1 acre	3.0 stories
		Conservation Subdivisions	8,000 sq feet [3]		
		Multi-Family Uses	1 acre		
	Nonresidential Structures	1 Acre		Not Applicable	
TCA-4	Residential Structures	Traditional Subdivisions	½ acre	2.0 units per 1 acre	3.0 stories
		Conservation Subdivisions	8,000 sq feet [3]		
		Multi-Family Uses	1 acre		
	Nonresidential Structures	1 acre		Not Applicable	

[1] Conservation Subdivisions are not permitted in the above mentioned districts, and as such are not represented in the table.
 [2] See also Section 10.02(K)(3): Nonresidential Development Contextual Design Standards
 [3] The minimum lot size may be reduced to 6,000 square feet for up to 50% of the lots provided that any lot that is less than 8,000 square feet is surrounded by Open Space or lots of 8,000 square feet or greater.

Proposed Changes to Article 10, Section 10.07: Summary Table of Dimensional Standards, Add Table 10.07-7: Summary Table of Minimum Setbacks for Triune Character Area Districts. Proposed Table is Below.

Add New Table 10.07-7: Summary Table of Minimum Setbacks for Triune Character Area Districts.

TABLE 10.07-7: SUMMARY TABLE OF MINIMUM SETBACKS FOR TRIUNE CHARACTER AREA DISTRICTS							
District	Structure Type		Front Yard Setback		Side Yard Setback		Rear Yard Setback
TCA-1	Residential Structures		0.0-4.99 acres	60 feet	0.0-4.99 acres	20 feet	60 feet
			5.00 acres or greater	100 feet	5.00 acres or greater	30 feet	
	Nonresidential Structures		100 feet		50 feet		50 feet
TCA-2	Residential Structures		Parcels on State Highways	40 feet, with a maximum setback of 50 feet [1] [2]	5 feet, but 20 feet on corner lots [1]	30 feet	
			All other Parcels	20 feet, with a maximum setback of 30 feet			
	Nonresidential Structures		Parcels on State Highways	40 feet, with a maximum setback of 50 feet [1] [2]			
			All other Parcels	20 feet, with a maximum setback of 30 feet			
TCA-3	Residential Structures		Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]	[1]	N/A	
			Traditional Subdivisions	35 feet	10 feet	30 feet	
			Conservation Subdivisions	25 feet, 15 feet for alley loaded lots	5 feet	30 feet, 15 feet for alley loaded lots	
			Multi-Family Uses	35 feet	10 feet	30 feet	
	Nonresidential Structures		Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]	5 feet, but 20 feet on corner lots [1]	30 feet	
			All other Parcels	35 feet, with a maximum setback of 50 feet [2]			
TCA-4	Residential Structures		Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]	[1]	N/A	
			Traditional Subdivisions	35 feet	10 feet	30 feet	
			Conservation Subdivisions	25 feet, 15 feet for alley loaded lots	5 feet	30 feet, 15 feet for alley loaded lots	
			Multi-Family Uses	35 feet	10 feet	30 feet	
	Nonresidential Structures		Parcels on State Highways	50 feet, with a maximum setback of 75 feet [1][2]	5 feet, but 20 feet on corner lots [1]	30 feet	
			All other Parcels	35 feet, with a maximum setback of 50 feet [2]			

[1] On corner lots where both streets are State Highways, both street sides shall be considered to be "Front".

[2] The Maximum Setback Standards do not apply to Religious Institutions or Educational Facilities.

Proposed Changes to Article 10, Section 10.07: Summary Table of Dimensional Standards, Add Table 10.07-8: Summary Table of Minimum Lot Widths for Triune Character Area Districts. Proposed Table is Below.

Add New Table 10.07-8: Summary Table of Minimum Lot Widths for Triune Character Area Districts.

TABLE 10.07-8: SUMMARY TABLE OF MINIMUM LOT WIDTHS FOR TRIUNE CHARACTER DISTRICTS [1]				
District		Residential Structures		Nonresidential Structures
TCA-1		1.0 – 2.99 acres	130 feet	60 feet
		3.00 – 4.99 acres	160 feet	
		5.0 acres or greater	200 feet	
TCA-2	Parcels on State Highways		150 feet	150 feet
	All other Parcels	0.50 -0.99 acres	75 feet	75 feet
		1.0 - 2.99 acres	100 feet	
		3.0 – 4.99 acres	130 feet	
		5.0 acres or greater	160 feet	
TCA-3		Traditional Subdivisions	75 feet	150 feet
		Conservation Subdivisions	40 feet	
		Multi-Family Uses	150 feet	
TCA-4		Traditional Subdivisions	75 feet	150 feet
		Conservation Subdivisions	40 feet	
		Multi-Family Uses	150 feet	

Proposed Changes To Article 11, Table 11.01-2: Table of Allowed Use-Village Districts.
Proposed Changes are shown in Red.

Add TCA-1, TCA-2, TCA-3, and TCA-4 districts to table, and the uses permitted within those districts.

TABLE 11.01-2: TABLE OF ALLOWED USES - VILLAGE DISTRICTS													
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED													
USE CATEGORY	USE TYPE	>	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
AGRICULTURAL USE CLASSIFICATION													
Agriculture	Agricultural	P	P	P	P	P	P	P	P	P	P	P	
	Nurseries	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(A)(1)
Agricultural Support and Services	Equestrian Facilities	S	S					P	P			P	Section 11.03:(A)(3)
	Farm Wineries	P	P					S	P			P	Section 11.03:(A)(4)
RESIDENTIAL USE CLASSIFICATION													
Household Living	Congregate Independent Living Centers					S	S				S	S	Section 11.03:(B)(1)
	Conservation Subdivisions								P		P	P	Section 11.03:(B)(2)
	Mobile Homes												Section 11.03:(B)(3)
	Mobile Home Parks												Section 11.03:(B)(4)
	Multi-Family Dwellings	S				S	S			S	P	P	Section 11.03:(B)(5)
	Retirement Communities	S									S	S	Section 11.03:(B)(6)
	Single-Family Dwellings on Parcels of Record	P	P	P	P	P	P	P	P	P	P	P	
	Traditional Subdivisions - Major	P	P	P	S	P	P	P	P	P	P	P	
	Traditional Subdivisions - Minor	P	P	P	P	P	P	P	P	P	P	P	
	Family Subdivisions									P			
Group Living	Congregate Assisted Living Centers					S	S				S	S	Section 11.03:(B)(7)
	Institutional Single-Family Homes (1-8 Residents)	P	P	P	P	P	P	P	P	P	P	P	
	Residential Institutional	S											Section 11.03:(B)(8)

TABLE 11.01-2: TABLE OF ALLOWED USES - VILLAGE DISTRICTS
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED

USE CATEGORY	USE TYPE	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
	Skilled Nursing Facilities					S	S				S	S	Section 11.03:(B)(9)
PUBLIC AND INSTITUTIONAL USE CLASSIFICATION													
Day Care	Day Care Centers	P	P		S		P	P		S	P		Section 11.03:(C)(1)
Educational Facilities	Educational Facilities	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(C)(2)
	Educational Facilities, Higher		S	P				S					Section 11.03:(C)(3)
	Specialty Education Facility, Intellectually and Developmentally Disabled	S		P									Section 11.03:(C)(14)
Government Facilities	Government Maintenance, Storage, or Distributional Facilities	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(C)(4)
	Government Offices	P	P	P	P	P	P	P	P	P	P	P	
	Public Safety Services	P	P	P	P	P	P	P	P	P	P	P	
Health Care Facilities	Hospitals												Section 11.03:(C)(5)
	Medical or Dental Clinics	P	P		P		P	P		P	P		
	Outpatient Facilities	P	P		P		P	P			P		
	Rehabilitation Centers												Section 11.03:(C)(6)
Institutions	Clubs or Lodges	P	P				P	P			P		
	Cultural Institutions	P	P				P	P		P	P		Section 11.03:(C)(7)
	Religious Institutions	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(C)(8)
Parks and Open Areas	Commercial Cemeteries												Section 11.03:(C)(9)
	Park or General Open Space	P	P	P	P	P	P	P	P	P	P	P	
Transportation and Utilities	Airports, Landing Strips, and Heliports, Private	S											Section 11.03:(C)(10)
	Airports, Landing Strips, and Heliports, Public												Section 11.03:(C)(11)
	Utilities	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(C)(12)
	Wireless Telecommunications Facilities	Permitted or Special Use as Established in Section 11.03:(C)(13)											Section 11.03:(C)(13)
COMMERCIAL USE CLASSIFICATION													

TABLE 11.01-2: TABLE OF ALLOWED USES - VILLAGE DISTRICTS
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED

USE CATEGORY	USE TYPE	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
Adult Entertainment	Adult-Oriented Establishments										S		Section 11.03:(D)(1)
Animal Care	Animal Boarding Facilities												Section 11.03:(D)(2)
	Animal Hospitals or Veterinarian Clinics or Animal Grooming	P	P		P		P	P		P	P		
	Animal Hospitals or Veterinarian Clinics with Animal Boarding				P		P	S					Section 11.03:(D)(3)
Conference or Training Center	Conference Centers	S					P	S			P		Section 11.03:(D)(4)
	Rural Retreats - Extensive	Permitted or Special Use as Established in Section 11.03:(D)(5)											Section 11.03:(D)(5)
	Rural Retreats - Limited	P	P					P				P	Section 11.03:(D)(6)
Eating and Drinking Establishments	Bars or Taverns	P	P		S		P	P					
	Drive-In Restaurants						P			P	P		
	Restaurants	P	P		P		P	P		P	P		
	Specialty Eating or Drinking Establishment	P	P		P		P	P		P	P		
Offices	Offices	P	P		P		P	P		P	P		
Parking, Commercial	Parking Lot, Stand-Alone			S	S		P	P		S			Section 11.03:(D)(7)
Recreation / Entertainment Facilities	Golf Courses	P	P	P				P	P			P	
	Golf Driving Ranges	P	P	P				P					
	Private Recreational Centers	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(D)(8)
	Recreational and Athletic Facilities, Indoor	P	S				P	S			P		Section 11.03:(D)(9)
	Recreational and Athletic Facilities, Outdoor	S	S	S				S					Section 11.03:(D)(10)
	Stadiums and Arenas												Section 11.03:(D)(11)
	Outdoor Amusement												Section 11.03:(D)(20)
Retail Sales and Services	Bank or Financial Institutions	P	P		P		P	P		P	P		
	Funeral Homes	S	S		S		S	S		S	P		

TABLE 11.01-2: TABLE OF ALLOWED USES - VILLAGE DISTRICTS
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED

USE CATEGORY	USE TYPE	>	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
	Convenience Stores without Gasoline Sales	P	P		S		P	P			P		
	Convenience Stores with Gasoline Sales	P	S				P	S			P		Section 11.03:(D)(12)
	Entertainment Establishments	S	S				P	S			P		
Retail Sales and Services	Mixed Use / Multi-Tenant Developments	S	S		S		P	S		P	P		Section 11.03:(D)(13)
	Liquor Store	S	S				S	S					
	Grocery Store	P	P				P	P		P	P		
	Personal Service Establishments	P	P		P		P	P		P	P		
	Retail Sales and Service, Extensive	S									S		Section 11.03:(D)(14)
	Retail Sales and Service, General	P	P		P		P	P		P	P		
Self-Service Storage	Self-Service Storage	S					S						Section 11.03:(D)(15)
Vehicle / Machinery Sales and Service	Automotive and Machinery Repair	S	S				P	S			S		Section 11.03:(D)(16)
	Automotive and Machinery Rental or Sales												
	Vehicle Washing Establishment	P	S				S						
	Truck Stops												Section 11.03:(D)(17)
Visitor Accommodations	Bed and Breakfast Establishments	P	P		P		P	P	P	P	P	P	Section 11.03:(D)(18)
	Hotels	S	S				S	S			P		
INDUSTRIAL USE CLASSIFICATION													
Extractive Industry	Rock Quarries												Section 11.03:(E)(1)
	Mining Operations												Section 11.03:(E)(1)
Industrial Uses	General Industrial Services	S	S										
	Light Industrial Services	S	S				S	S					Section 11.03:(E)(2)
	Heavy Industrial Services												Section 11.03:(E)(3)

TABLE 11.01-2: TABLE OF ALLOWED USES - VILLAGE DISTRICTS
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED

USE CATEGORY	USE TYPE	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
	Research and Development Facilities												
	Warehouses												
	Craft Distilleries												Section 11.03:(E)(10)
Waste Related Services	Landfills, Private												Section 11.03:(E)(4)
Waste Related Services	Nontraditional Wastewater Treatment and Disposal System	P	P	P	P	P	P	P	P	P	P	P	Section 11.03:(E)(5)
	Recycling Drop-Off and Other Drop-Off Centers	P	P	P			P	P		P	P		Section 11.03:(E)(6)
	Recycling Centers												Section 11.03:(E)(7)
	Salvage Centers												Section 11.03:(E)(8)
	Trash Compaction and Transfer Stations												Section 11.03:(E)(9)

Proposed Changes To Article II, Table II.03-I: Table of Allowed Rural Retreat-Extensive Uses. Proposed Changes are shown in Red.

Add TCA-1, TCA-2, TCA-3, and TCA-4 districts to table, and which of the districts the use is allowed within.

TABLE II.03-I: TABLE OF ALLOWED RURAL RETREAT-EXTENSIVE USES																										
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED																										
TYPE OF RURAL RETREAT EXTENSIVE USE	A	RP-5	RD-5	V	H	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	RP-1	RD-1	SIC	MGA-1	MGA-5	MGA-H	NC	NCMH	AP	R40C	
Basic (No conference/event center or restaurant/day spa component)	P	P	P	S		S					S			P		P	P		P	P						
With conference/event center component	S	S	S			S					S			S		S	S		S	S						
With restaurant and/or day spa component											S								S							

Proposed Changes To Article 11, Table 11.04-2: Table of Permitted Accessory Uses and Structures-Village Districts. Proposed Changes are shown in Red.

Add TCA-1, TCA-2, TCA-3, and TCA-4 districts to table, and the uses permitted within those districts.

TABLE 11.04-2: PERMITTED ACCESSORY USES AND STRUCTURES - VILLAGE DISTRICTS

P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED

	V	CGV	GCV1	GCV2	GCV3	GCV4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
Accessory Dwelling Units	P	P		P	P	P	P	P	P	P	P	Section 11.04(D)(1)
Accessory Dwelling Units, Commercial	P	P		P		P	P		P	P		Section 11.04(D)(2)
Accessory Structures Not Otherwise Listed	P	P	P	P	P	P	P	P	P	P	P	
Additional Principal Dwellings	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(3)
Agricultural Product Sales	P	P	P	P		P	P	P	P	P	P	Section 11.04(D)(4)
Cemeteries, Accessory	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(5)
Day Care Centers Accessory to an Institutional Use	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(6)
Family Child Care Homes	P	P	P	P	P	P	P	S	P	P	S	Section 11.04(D)(7)
Garages and Carports	P	P	P	P	P	P	P	P	P	P	P	
Greenhouses Accessory to a Residential Use	P	P	P	P	P	P	P	P	P	P	P	
Group Child Care Homes	S	S	S	S		S	S	S	S	S	S	Section 11.04(D)(8)
Home Occupations	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(9)
Residential Businesses	S	S		S		S	S	S	S	S	S	Section 11.04(D)(10)
Retaining Walls	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(14)
Small-Scale Wind Energy Turbines (SWET)			P									
Solar Panels	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(12)
Stables Accessory to a Residential Use	P	P	P		P		P	P	P	P	P	
Stadiums and Arenas Accessory to an Educational Facility	P	P	P				P	P			P	
Swimming Pools	P	P	P	P	P	P	P	P	P	P	P	Section 11.04(D)(13)

Proposed Changes To Article 11, Table 11.05-2: Permitted Temporary Uses and Structures-Village Districts. Proposed Changes are shown in Red.

Add TCA-1, TCA-2, TCA-3, and TCA-4 districts to table, and the uses permitted within those districts.

TABLE 11:05-2: PERMITTED TEMPORARY USES AND STRUCTURES-VILLAGE DISTRICTS												
P = PERMITTED USE S = SPECIAL USE BLANK = PROHIBITED												
	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
Acceptance of Fill Material	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(1)
Borrow Pit	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(2)
Contractor's Office and Construction Equipment Sheds	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(3)
Firework Sales	P	P		P		P	P			P		Section 11.05 (D)(4)
Produce Stand/Seasonal Sales	P	P	P	P		P	P	P	P	P	P	Section 11.05 (D)(5)
Real Estate Sales Office/Model Home Sales	P	P		P	P	P	P	P	P	P	P	Section 11.05 (D)(6)
Special Events-Extensive Impact	S	S	S	S	S	S	P	S	S	S	S	Section 11.05 (D)(7)
Special Events-Limited Impact	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(8)
Temporary Asphalt, Asphalt Reprocessing Plants, or Rock Quarries	P							P				Section 11.05 (D)(9)
Temporary Shelter	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(10)

TABLE 11:05-2: PERMITTED TEMPORARY USES AND STRUCTURES-VILLAGE DISTRICTS

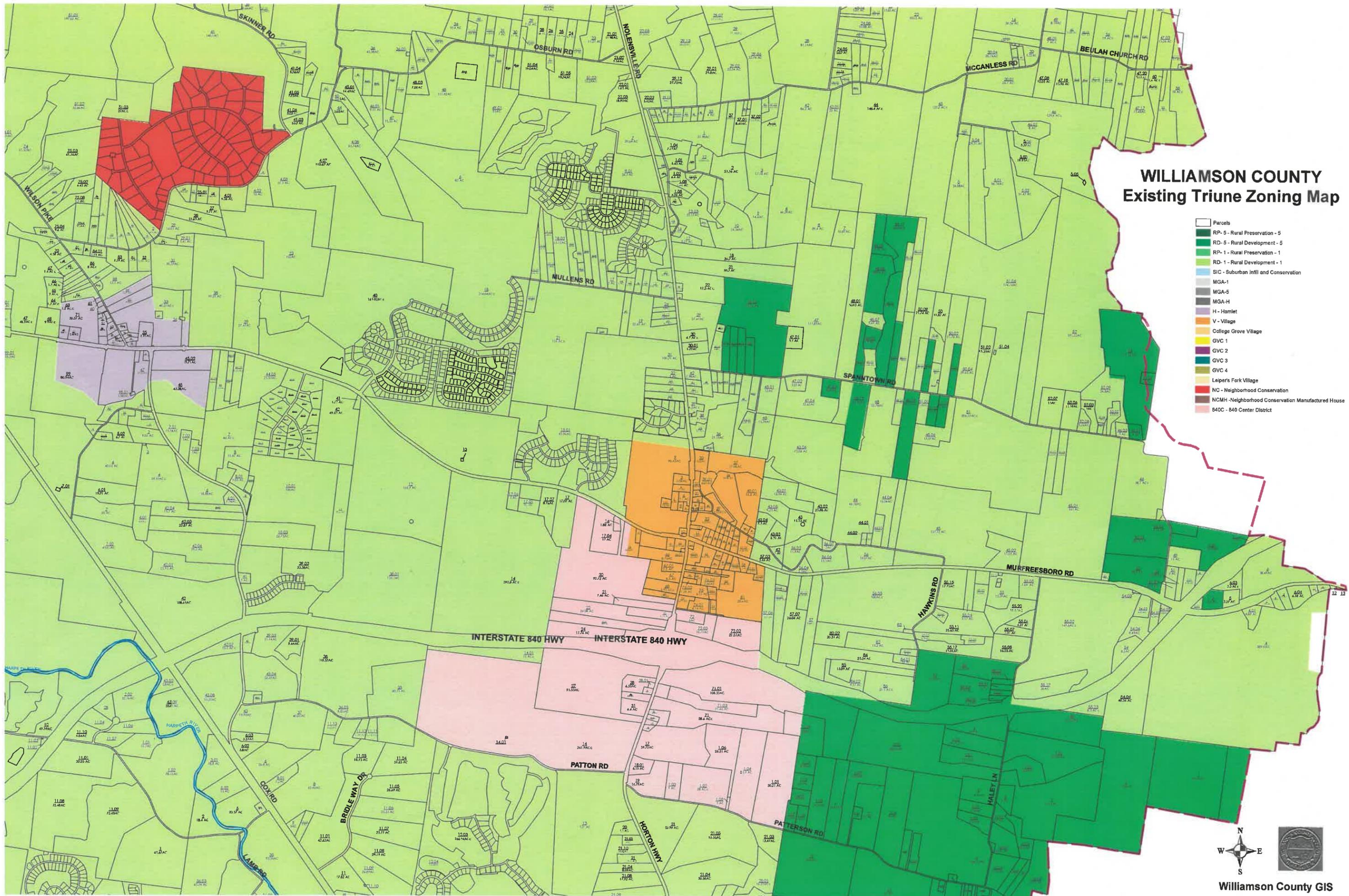
P = PERMITTED USE S = SPECIAL USE BLANK = PROHIBITED

	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TCA-1	TCA-2	TCA-3	TCA-4	ADDITIONAL REQUIREMENTS
Temporary Storage in Portable Shipping Containers	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(11)
Temporary Structures Related to Institutional Uses	P	P	P	P	P	P	P	P	P	P	P	Section 11.05 (D)(12)
Food Trucks on Private Property						P			P	P		Section 11.05 (D)(13)

Proposed Changes To Article 14, Table 14.03-1: Open Space Set-Aside. Proposed Additions to the Table are shown in Red.

Add TCA-1, TCA-2, TCA-3, and TCA-4 districts to table, and the corresponding Open Space Requirements for each district.

TABLE 14.03-1: OPEN SPACE SET-ASIDE	
DISTRICT AND TYPE OF USE	MINIMUM PERCENTAGE OF GROSS SITE AREA DESIGNATED AS OPEN SPACE
RD-5, RP-5 AND TCA-1 DISTRICTS	
Conservation Subdivisions	60%
Major Traditional Subdivisions	30%
Nonresidential Uses	60%
TCA-2 DISTRICT	
Major Traditional Subdivisions	20%
Nonresidential Uses	35%
TCA-3 AND TCA-4 DISTRICTS	
Conservation Subdivisions	50%
Major Traditional Subdivisions	20%
Nonresidential Uses	35%

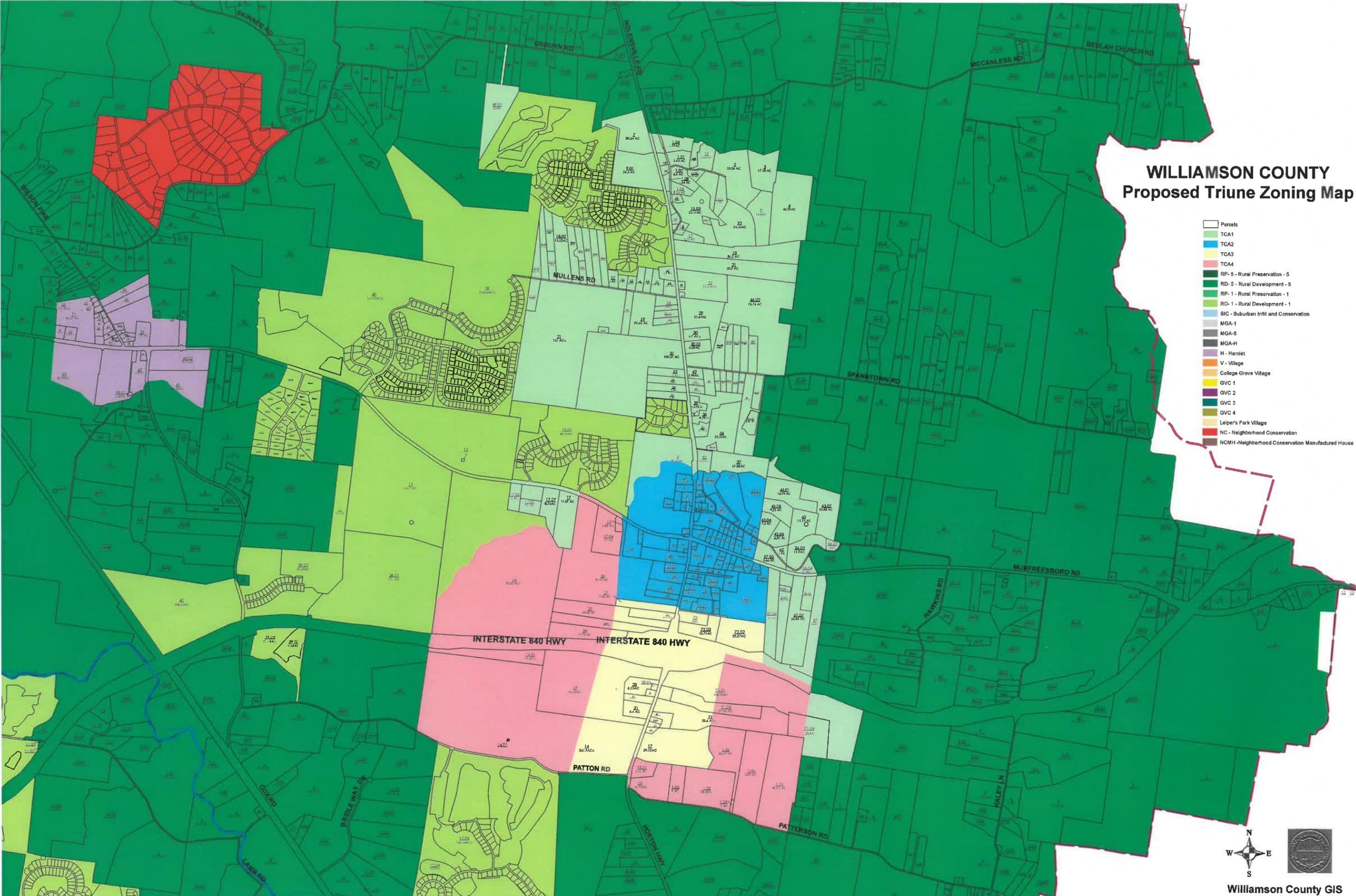


WILLIAMSON COUNTY Existing Triune Zoning Map

- Parcels
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NOMH - Neighborhood Conservation Manufactured House
- 840C - 840 Center District

WILLIAMSON COUNTY Proposed Triune Zoning Map

-  Parcels
-  TCA1
-  TCA2
-  TCA3
-  TCA4
-  RP- 5 - Rural Preservation - 5
-  RD- 5 - Rural Development - 5
-  RP- 1 - Rural Preservation - 1
-  RD- 1 - Rural Development - 1
-  SIC - Suburban Infill and Conservation
-  MGA-1
-  MGA-5
-  MGA-H
-  H - Hamlet
-  V - Village
-  College Grove Village
-  GVC 1
-  GVC 2
-  GVC 3
-  GVC 4
-  Leiper's Fork Village
-  NC - Neighborhood Conservation
-  NCMH -Neighborhood Conservation Manufactured House



ATTACHMENT 35-3

RESOLUTION NO. _____

**Requested by: Regional Planning Commission
 Planning Department**

**RESOLUTION OF THE WILLIAMSON COUNTY
BOARD OF COMMISSIONERS TO ADOPT AMENDMENTS TO THE WILLIAMSON
COUNTY ZONING ORDINANCE REGARDING THE CREATION OF THE
FOLLOWING ZONING DISTRICTS: TRIUNE CHARACTER AREA - 1 (TCA-1),
TRIUNE CHARACTER AREA - 2 (TCA-2), TRIUNE CHARACTER AREA - 3 (TCA-3),
AND TRIUNE CHARACTER AREA - 4 (TCA-4) AND AMENDMENT OF THE
OFFICIAL ZONING MAP TO APPLY THE NEW ZONING DISTRICTS**

- WHEREAS,** Williamson County, Tennessee, by and through its Regional Planning Commission, has adopted a Comprehensive Land Use Plan in 2007 and a revised Comprehensive Land Use Plan in 2020; and
- WHEREAS,** the 2007 Comprehensive Land Use Plan called for the creation of a Special Area Plan for each of the Villages identified by the Plan, one of which was Triune, and
- WHEREAS,** the 2007 Comprehensive Land Use Plan called for the creation of a Special Area Plan for the 840 Center Zoning District at Triune where it applied to the I-840 Interchange at Horton Highway;
- WHEREAS,** the Regional Planning Commission, by and through its Staff, endeavored to study and gather public input in order to create the Triune Special Area Plan which included a study of the Triune Village and 840 Center Zoning District at Triune into one, given the close proximity between the districts and continuity of the community; and
- WHEREAS,** the Regional Planning Commission adopted the Triune Special Area Plan on November 8, 2018, which was endorsed by the Board of County Commissioners on November 13, 2018 and same was incorporated into the Comprehensive Land Use Plan; and
- WHEREAS,** a recommendation of the Special Area Plan was the creation of specialized zoning districts and development standards for the Triune Area in order to help implement the Plan; and
- WHEREAS,** the Planning Staff studied the Plan recommendations and gathered public input in order to prepare development standards specifically applicable to the Triune Area that was encompassed by the Special Area Plan; and
- WHEREAS,** the Triune Citizen's Advisory Committee, which played a key role in facilitating the adoption of the Special Area Plan, was instrumental in serving as a liaison to the community and helped determine how best to draft the zoning districts and development standards; and
- WHEREAS,** the draft development standards and map designations were prepared and presented in a public meeting on September 24, 2019 at the Triune United Methodist Church; and
- WHEREAS,** on October 8, 2020 the Regional Planning Commission conducted its official public hearing on the creation of the Triune Character Area Zoning Districts, the Development Standards and Official Map designations, which are attached hereto as Attachment A and incorporated herein, and which are amendments to the Zoning Ordinance and Official Zoning Map; and

WHEREAS, based upon its consideration of all of the information, public input and comment and its own public hearing, the Williamson County Regional Planning Commission has recommended the adoption of the amendments to the Williamson County Zoning Ordinance and Official Zoning Map as presented; and

WHEREAS, the Board of County Commissioners finds and determines that the best interests of Williamson County and its citizens will be served by the adoption of these amendments to the Williamson County Zoning Ordinance and Official Zoning Map as recommended by the Regional Planning Commission and in implementation of the Triune Special Area Plan; and

WHEREAS, due notice has been published and a public hearing has been held as required by the Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners at its regular meeting on this the 9th day of November, 2020, after conducting the public hearing as required by law, hereby adopts the amendments to the Williamson County Zoning Ordinance and Official Zoning Map, which are attached hereto and incorporated herein as if included verbatim, in accordance with its authority in Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the date upon which these amendments to the Williamson County Zoning Ordinance and Official Zoning Map shall be effective and enforced is January 1, 2021.

Beth Lothers, County Commissioner

Tommy Little, County Commissioner

COMMITTEES REFERRED TO AND ACTION TAKEN:

Regional Planning Commission: For: _____ Against: _____

Commission Action Taken: For: _____ Against: _____ Pass: _____ Out: _____

Elaine Anderson, County Clerk

Tommy Little, Commission Chairman

Rogers C. Anderson, County Mayor

Date

TCA-1

ADDRESS,C,64	GISLINK,C,26
3052 OLD MURFREESBORO RD	113 04301
NOLENSVILLE RD	110 02900
NOLENSVILLE RD	110 03000
7870 NOLENSVILLE RD	110 03001
7843 NOLENSVILLE RD	110 02700
7790 NOLENSVILLE RD	110 00106
MURFREESBORO RD	113 05707
9576 MULLENS RD	109 01500
7836 NOLENSVILLE RD	110 02300
9580 MULLENS RD	109 01400
2915 BOSTIC RD	110 01201
2923 OLD HORTON HWY	110 00107
3064 OLD MURFREESBORO RD	113 04200
MURFREESBORO RD	113 05706
9568 MULLENS RD	109 01700
3056 OLD MURFREESBORO RD	113 04303
2916 SPANNTOWN RD	110 04600
MURFREESBORO RD	113 05709
2915 SPANNTOWN RD	110 04303
2917 SPANNTOWN RD	110 04400
2913 SPANNTOWN RD	110 04302
2911 SPANNTOWN RD	110 04301
2909 B SPANNTOWN RD	110 04304
2907 SPANNTOWN RD	110 04300
2909 A SPANNTOWN RD	110 04305
MULLENS RD	109 02102
7912 NOLENSVILLE RD	110 03800
5171 MURFREESBORO RD	113 05710
5148 MURFREESBORO RD	113 05703
OLD MURFREESBORO RD	113 04305
9584 MULLENS RD	109 01300
9575 -77 MULLENS RD	109 02000
2984 OLD MURFREESBORO RD	113 00201
7892 NOLENSVILLE RD	110 04100
2901 SPANNTOWN RD	110 04200
OLD MURFREESBORO RD	113 04304
9588 MULLENS RD	109 01200
NOLENSVILLE RD	110 02400
2923 SPANNTOWN RD	110 04401
2921 SPANNTOWN RD	110 04402
9572 MULLENS RD	109 01600
7836 NOLENSVILLE RD	110 02200
2908 SPANNTOWN RD	110 04604

7831 NOLENSVILLE RD	110 02000
7914 NOLENSVILLE RD	110 03700
2910 SPANNTOWN RD	110 04606
7924 NOLENSVILLE RD	113 03600
5175 MURFREESBORO RD	113 05700
5157 MURFREESBORO RD	113 05712
SPANNTOWN RD	110 04602
SPANNTOWN RD	110 04603
2912 SPANNTOWN RD	110 04605
7896 NOLENSVILLE RD	110 04000
7906 NOLENSVILLE RD	110 03900
5007 MURFREESBORO RD	114 01700
8092 HORTON HWY	113 07104
2910 BOSTIC RD	110 00101
7893 NOLENSVILLE RD	110 03300
7840 NOLENSVILLE RD	110 02500
2981 OLD HORTON HWY	110 01301
NOLENSVILLE RD	110 03400
7891 NOLENSVILLE RD	110 03200
9556 MULLENS RD	109 01811
2914 BOSTIC RD	110 00103
9530 MULLENS RD	109 01810
2920 OLD HORTON HWY	110 00102
7918 NOLENSVILLE RD	113 03500
SPANNTOWN RD	110 04601
9520 MULLENS RD	109 01809
2920 BOSTIC RD	110 01200
3058 OLD MURFREESBORO RD	113 04300
9551 MULLENS RD	109 02101
7932 NOLENSVILLE RD	113 03300
3054 OLD MURFREESBORO RD	113 04300
7928 NOLENSVILLE RD	113 03700
7930 NOLENSVILLE RD	113 03601
7787 NOLENSVILLE RD	109 00901
7781 NOLENSVILLE RD	109 00700
3075 OLD MURFREESBORO RD	113 05604
BOSTIC RD	110 00400
2249 OSBURN RD	086 04901
NOLENSVILLE RD	110 00104
9554 MULLENS RD	109 01801
9558 MULLENS RD	109 01806
NOLENSVILLE RD	110 00104
NOLENSVILLE RD	110 02100
9552 MULLENS RD	109 01807
9564 MULLENS RD	109 01804
9562 MULLENS RD	109 01805
7810 NOLENSVILLE RD	110 01500

NOLENSVILLE RD	110 01400
BOSTIC RD	110 00300
7841 NOLENSVILLE RD	110 02601
9550 MULLENS RD	109 01802
9532 MULLENS RD	109 01803
9524 MULLENS RD	109 01808
OLD MURFREESBORO RD	113 05607
OLD MURFREESBORO RD	113 04302
7818 NOLENSVILLE RD	110 01000
7820 NOLENSVILLE RD	110 01800
2935 BOSTIC RD	110 01302
2955 BOSTIC RD	110 00900
3080 OLD MURFREESBORO RD	113 05602
BOSTIC RD	110 00200
7899 NOLENSVILLE RD	110 03500
7883 NOLENSVILLE RD	110 03100
7839 NOLENSVILLE RD	110 02600
7835 NOLENSVILLE RD	110 02600
4995 MURFREESBORO RD	114 01707
9579 MULLENS RD	109 01900
4991 MURFREESBORO RD	114 01701
4991 MURFREESBORO RD	114 01701
4987 MURFREESBORO RD	114 01706
9557 -59 MULLENS RD	109 02100
2927 OLD HORTON HWY	110 00108
2946 OLD HORTON HWY	110 01300
2950 OLD HORTON HWY	110 01303
2930 OLD HORTON HWY	110 00105
2960 OLD HORTON HWY	110 01303
7814 NOLENSVILLE RD	110 01600
7816 NOLENSVILLE RD	110 01700
7955 NOLENSVILLE RD	113 00900

TCA-2

ADDRESS,C,64	GISLINK,C,26
HORTON HWY	113 07601
8204 MALACHI LN	113 07401
3007 FULLERTON LN	113 03100
2988 OLD MURFREESBORO RD	113 00500
3031 OLD MURFREESBORO RD	113 02000
OLD MURFREESBORO RD	113 02100
8026 HORTON HWY	113 07602
5130 MURFREESBORO RD	113 01800
5121 MURFREESBORO RD	113 06001
3036 OLD MURFREESBORO RD	113 03800
5125 MURFREESBORO RD	113 06000
5118 MURFREESBORO RD	113 01500

8220 MALACHI LN	113 07300
OLD MURFREESBORO RD	113 02200
OLD MURFREESBORO RD	113 04001
5144 MURFREESBORO RD	113 05702
2992 OLD MURFREESBORO RD	113 00800
5122 MURFREESBORO RD	113 01600
8013 HORTON HWY	113 06701
8040 HORTON HWY	113 07400
5133 MURFREESBORO RD	113 05901
7939 NOLENSVILLE RD	113 00300
5137 MURFREESBORO RD	113 05902
3042 OLD MURFREESBORO RD	113 04000
5141 MURFREESBORO RD	113 05800
3047 OLD MURFREESBORO RD	113 05704
7940 NOLENSVILLE RD	113 03200
8226 NEAL RD	113 07800
3003 FULLERTON LN	113 03000
7947 NOLENSVILLE RD	113 00600
7943 NOLENSVILLE RD	113 00400
5153 MURFREESBORO RD	113 05708
5111 MURFREESBORO RD	113 06200
3048 OLD MURFREESBORO RD	113 04100
8219 NEAL RD	113 07600
5129 MURFREESBORO RD	113 05900
2996 OLD MURFREESBORO RD	113 00700
3023 OLD MURFREESBORO RD	113 02101
5126 MURFREESBORO RD	113 01700
8201 NEAL RD	113 07700
5147 MURFREESBORO RD	113 05701
HORTON HWY	113 06401
8220 NEAL RD	113 07801
3035 OLD MURFREESBORO RD	113 01901
5037 MURFREESBORO RD	114 01900
8009 HORTON HWY	113 06600
3012 OLD MURFREESBORO RD	113 02800
3012 OLD MURFREESBORO RD	113 02800
8030 HORTON HWY	113 07500
8030 HORTON HWY	113 07500
5134 MURFREESBORO RD	113 01900
5031 MURFREESBORO RD	114 01800
8039 HORTON HWY	114 02000
8003 HORTON HWY	113 06400
8210 MALACHI LN	113 07501
8240 MALACHI LN	113 08100
8035 HORTON HWY	113 06900
8225 NEAL RD	113 07603
8235 NEAL RD	113 08000

8021 HORTON HWY	113 06700
8029 HORTON HWY	113 06800
3008 OLD MURFREESBORO RD	113 02700
3004 OLD MURFREESBORO RD	113 02600
3002 OLD MURFREESBORO RD	113 02900
7950 NOLENSVILLE RD	113 02500
5107 MURFREESBORO RD	113 06201
7954 NOLENSVILLE RD	113 02300
8000 HORTON HWY	113 06301
5050 MURFREESBORO RD	113 01000
NOLENSVILLE RD	113 01200
5048 MURFREESBORO RD	113 01000
5041 MURFREESBORO RD	113 06500
7955 NOLENSVILLE RD	113 00900
7954 NOLENSVILLE RD	113 02300
MALACHI LN	113 08100
3010 FULLERTON LN	113 03901
MURFREESBORO RD	113 01300
5114 MURFREESBORO RD	113 01400
7960 NOLENSVILLE RD	113 01100
3016 OLD MURFREESBORO RD	113 03900

TCA-4

ADDRESS,C,64	GISLINK,C,26
8220 PATTERSON RD	137 00103
8232 PATTERSON RD	137 00102
8126 HORTON HWY	136 01801
PATTERSON RD	137 00105
PATTERSON RD	137 00104
PATTON RD	136 01401
8240 PATTERSON RD	137 00106
MURFREESBORO RD	114 01401
8204 PATTERSON RD	136 01900
5025 MURFREESBORO RD	114 01600
5021 MURFREESBORO RD	114 01704
8250 PATTERSON RD	137 00101

TCA-3

ADDRESS,C,64	GISLINK,C,26
8110 HORTON HWY	136 01600
8116 HORTON HWY	136 01700
8241 MALACHI LN	113 07202
HORTON HWY	114 02201
8093 HORTON HWY	114 02900
8049 HORTON HWY	114 02100
8053 HORTON HWY	113 07000
8097 HORTON HWY	114 03000
HORTON HWY	114 02200
8101 HORTON HWY	114 03100
HORTON HWY	114 02400
8085 HORTON HWY	114 02801
8089 HORTON HWY	114 02800
HORTON HWY	114 02700
8102 HORTON HWY	114 03200
8108 HORTON HWY	136 01500
6288 PATTON RD	136 01400
8106 HORTON HWY	114 03201
HORTON HWY	113 07203
8064 HORTON HWY	113 07200
8088 HORTON HWY	113 07101
8094 HORTON HWY	113 07103
8094 HORTON HWY	113 07103
8100 HORTON HWY	113 07100

ITEM 36

AMENDMENT TO THE WILLIAMSON COUNTY OFFICIAL ZONING MAP EXPANDING THE RURAL PRESERVATION-5 (RP-5) AND RURAL DEVELOPMENT-5 (RD-5) ZONING DISTRICTS TO IMPLEMENT THE RECOMMENDATIONS OF THE RECENTLY ADOPTED COMPREHENSIVE LAND USE PLAN

Attachment	36-1	Proposed Map Amendment
	36-2	Resolution

File Number (6-2020-02)

On March 12, 2020, the Williamson County Regional Planning Commission adopted an updated version of its Comprehensive Land Use Plan, which represents a vision for the future growth and preservation of the unincorporated areas of the County. The Plan outlines the County's policies for desired land use patterns, rural preservation efforts, open space and natural resource protection, the quality and character of growth, and the provision of public services and facilities.

Among other things, the Plan calls for preserving rural character in outlying areas and focusing the majority of new growth in and around the municipalities where infrastructure is in place, or can be readily provided to accommodate development. Significant public input and extensive research and analysis establish that the development pattern outlined in the Plan aligns with the community character envisioned by the majority of citizens and better addresses traffic/roadway improvement needs (approximately \$110 million reduction in roadway improvement needs outside the Urban Growth Boundaries (UGB's)) and overall fiscal impacts (approximately \$3.5 billion reduction in overall costs to provide services outside of UGB's).

To accomplish this development pattern, the Plan recommends reducing allowable densities in rural areas (except in designated Hamlets or Villages) from 1 unit-per-acre to 1 unit-per-5 acres. Rural areas are considered those areas outside of Urban Growth Boundaries (UGB's), Hamlets, Villages and the study area of the Triune Special Area Plan. It should be noted that the majority of rural Williamson County already has a 1 unit-per-5 acre zoning designation and this proposed change would result in more consistency in zoning across the County.

This Map Amendment would implement the Comprehensive Plan recommendation by changing the zoning of properties within the rural areas (with the exception of existing and approved major subdivisions with a density of less than 1 unit per 5 acres) as follows (See Attachment 36-1).

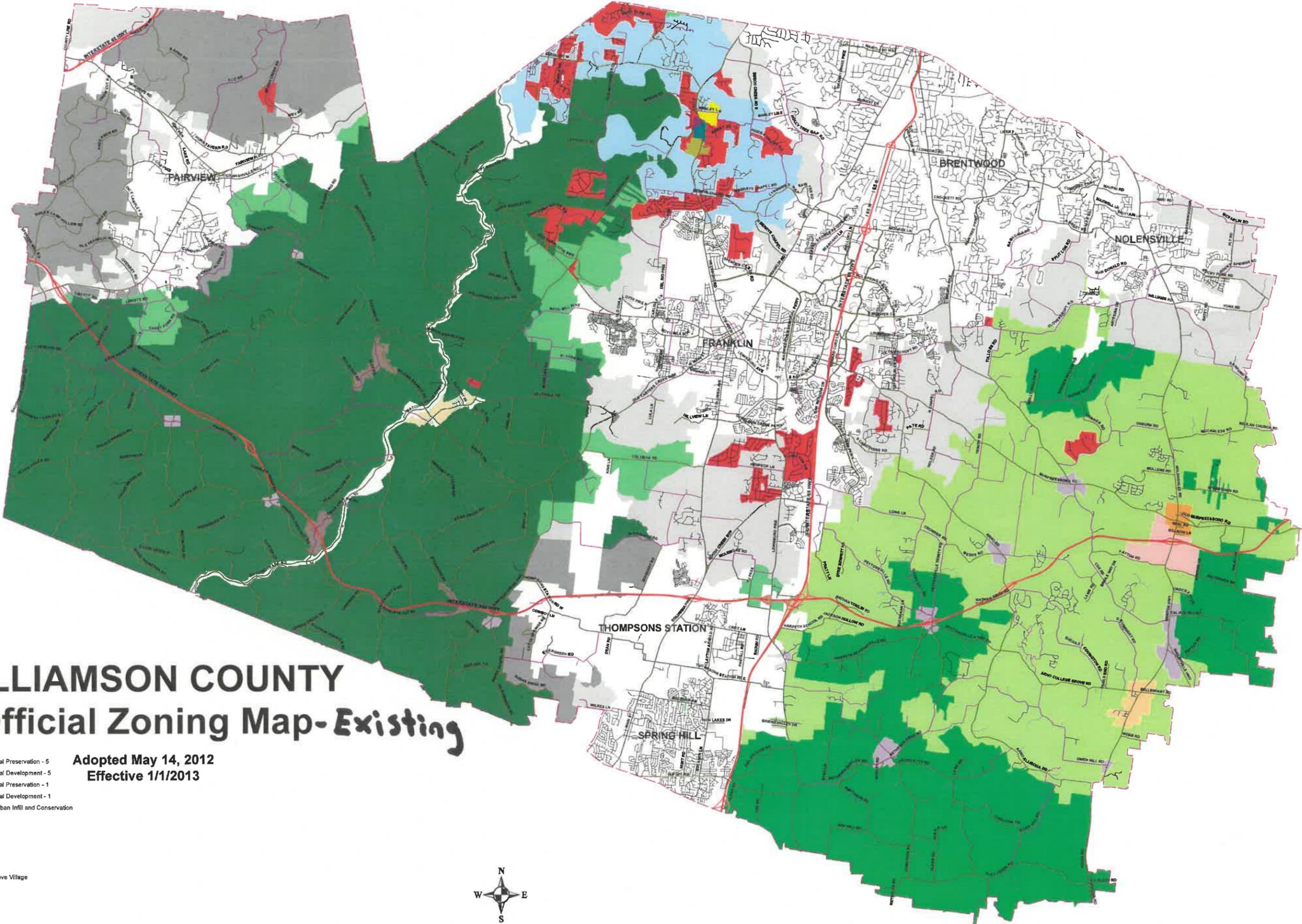
- Properties currently zoned Rural Preservation-1 (RP-1) would be rezoned to Rural Preservation-5 (RP-5);

- Properties currently zoned Suburban Infill & Conservation (SIC) would be rezoned to Rural Preservation-5 (RP-5); and
- Properties currently zoned Rural Development-1 (RD-1) would be rezoned to Rural Development-5 (RD-5);

All public notice requirements regarding this Map Amendment have been met.

Staff recommends approval of this Map Amendment and that the attached Resolution (See Attachment 36-2) be forwarded to the County Commission for adoption.

Reviewer: MM
Date: 10/8/2020



WILLIAMSON COUNTY Official Zoning Map-Existing

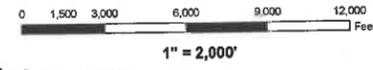
Adopted May 14, 2012
Effective 1/1/2013

- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured House
- 840C - 840 Center District

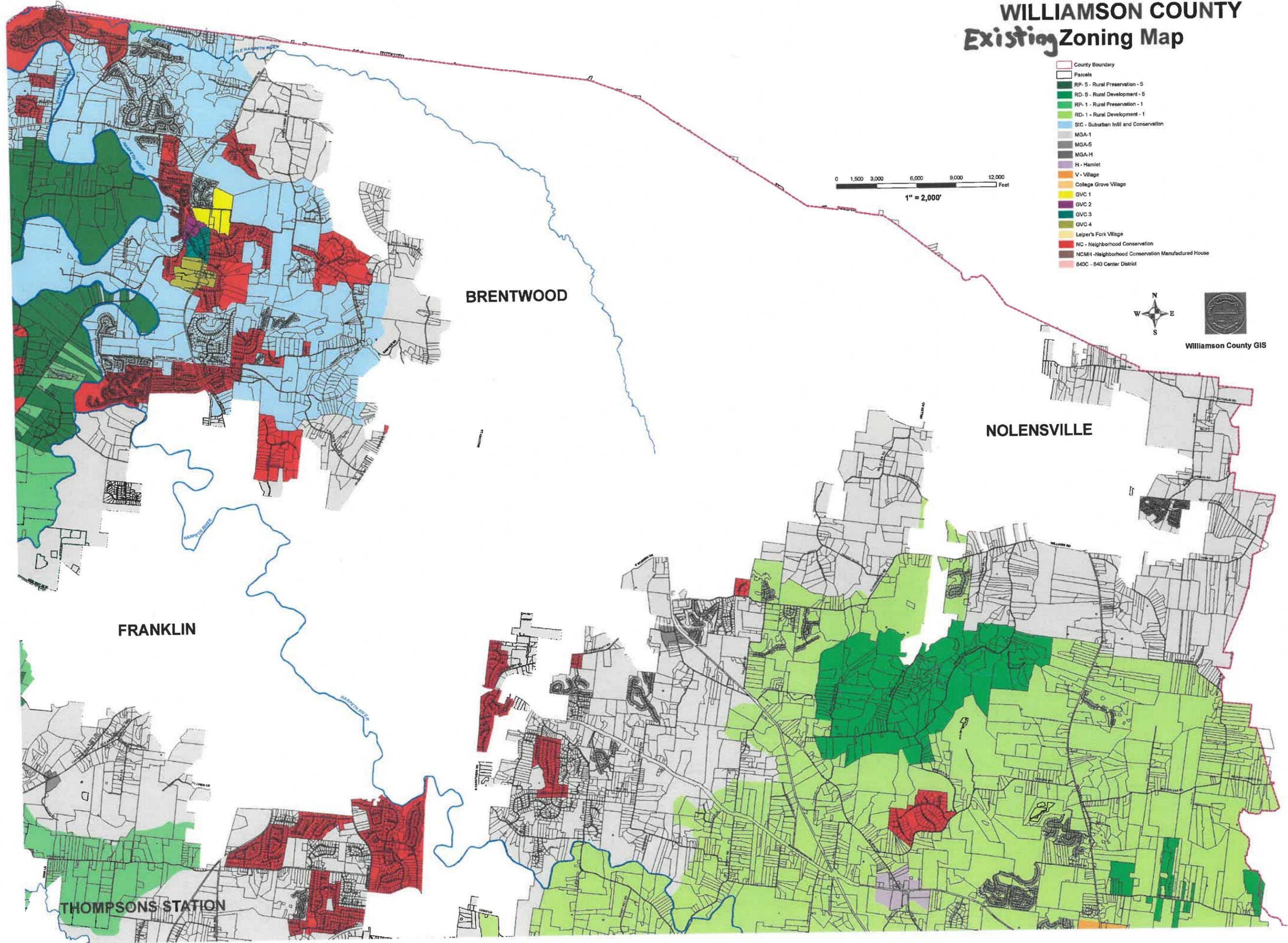


WILLIAMSON COUNTY Existing Zoning Map

- County Boundary
- Parcels
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured House
- 84DC - 840 Center District



Williamson County GIS

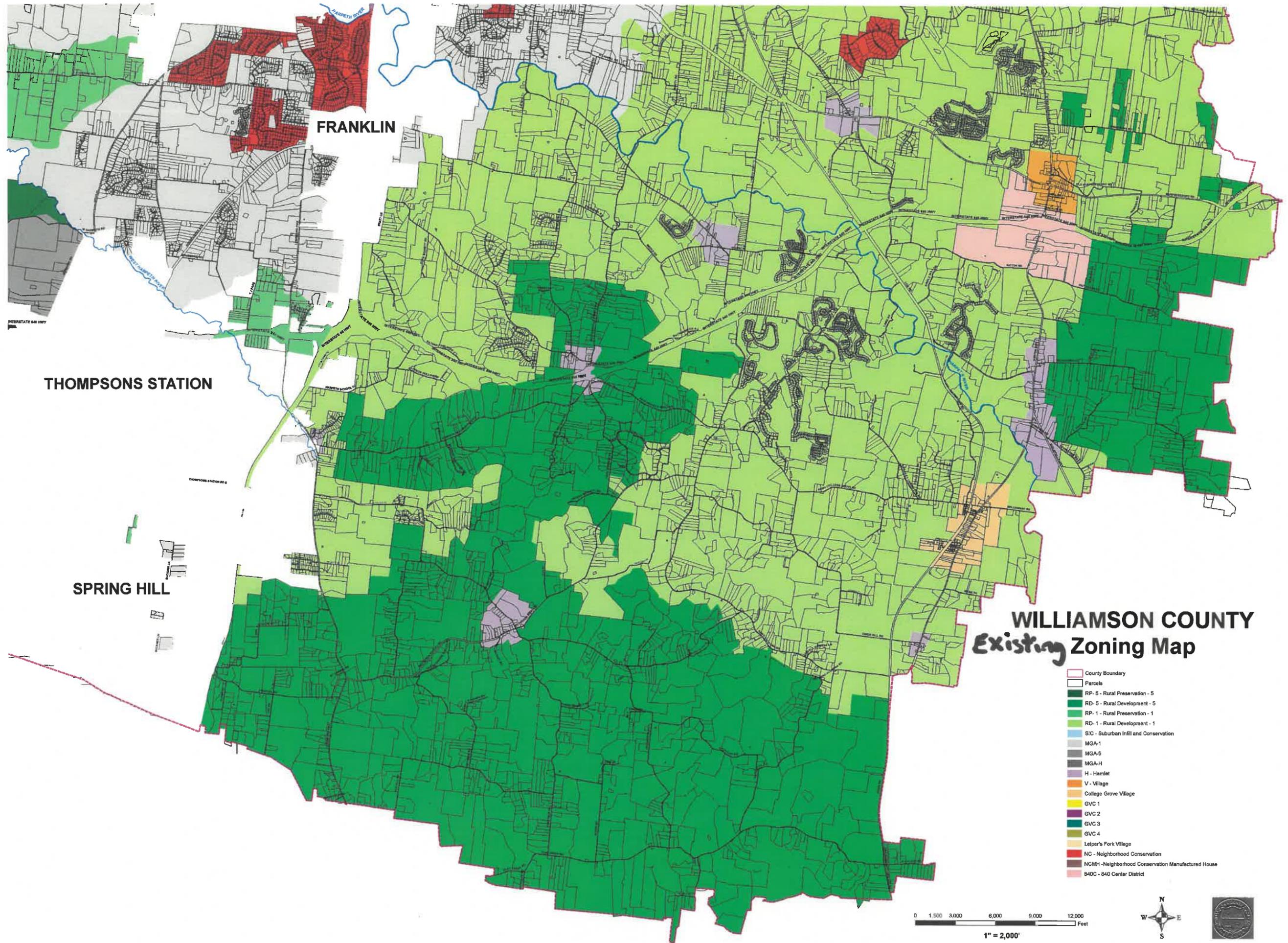


BRENTWOOD

NOLENSVILLE

FRANKLIN

THOMPSONS STATION



WILLIAMSON COUNTY Existing Zoning Map

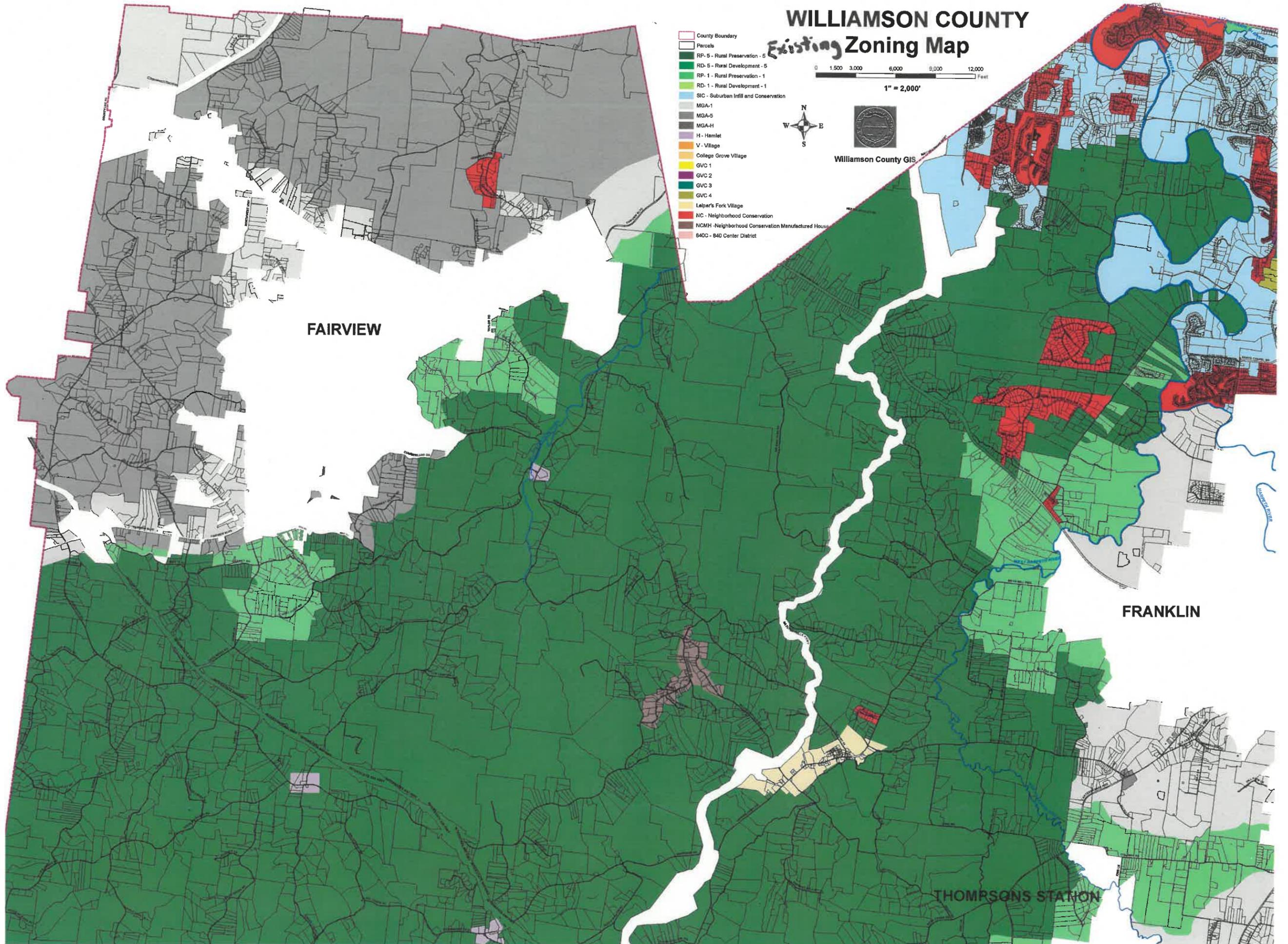
- County Boundary
- Parcels
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured Homes
- 840C - 840 Center District

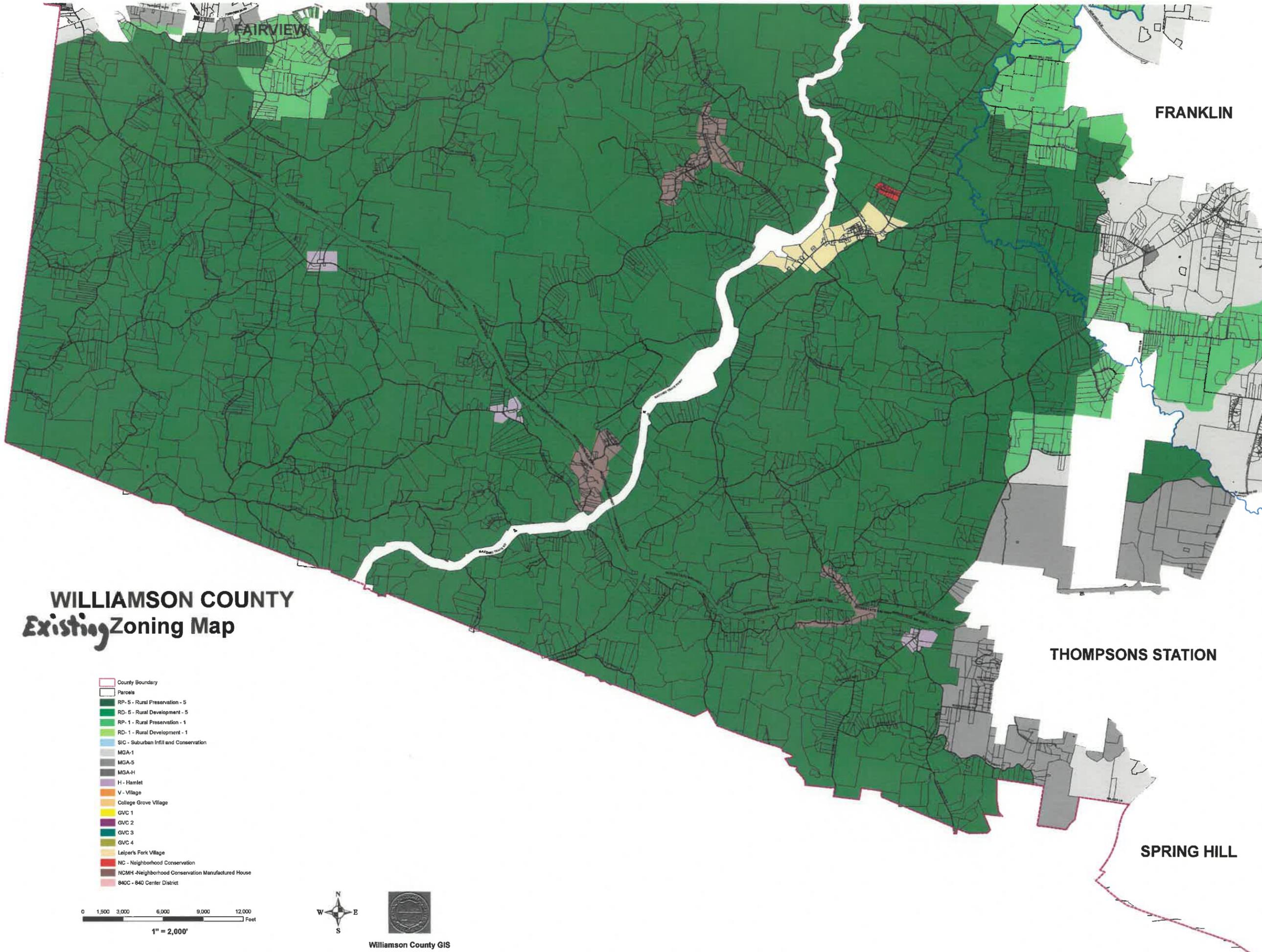
0 1,500 3,000 6,000 9,000 12,000 Feet

1" = 2,000'



Williamson County GIS

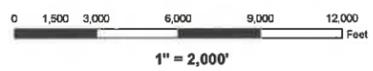




WILLIAMSON COUNTY

Existing Zoning Map

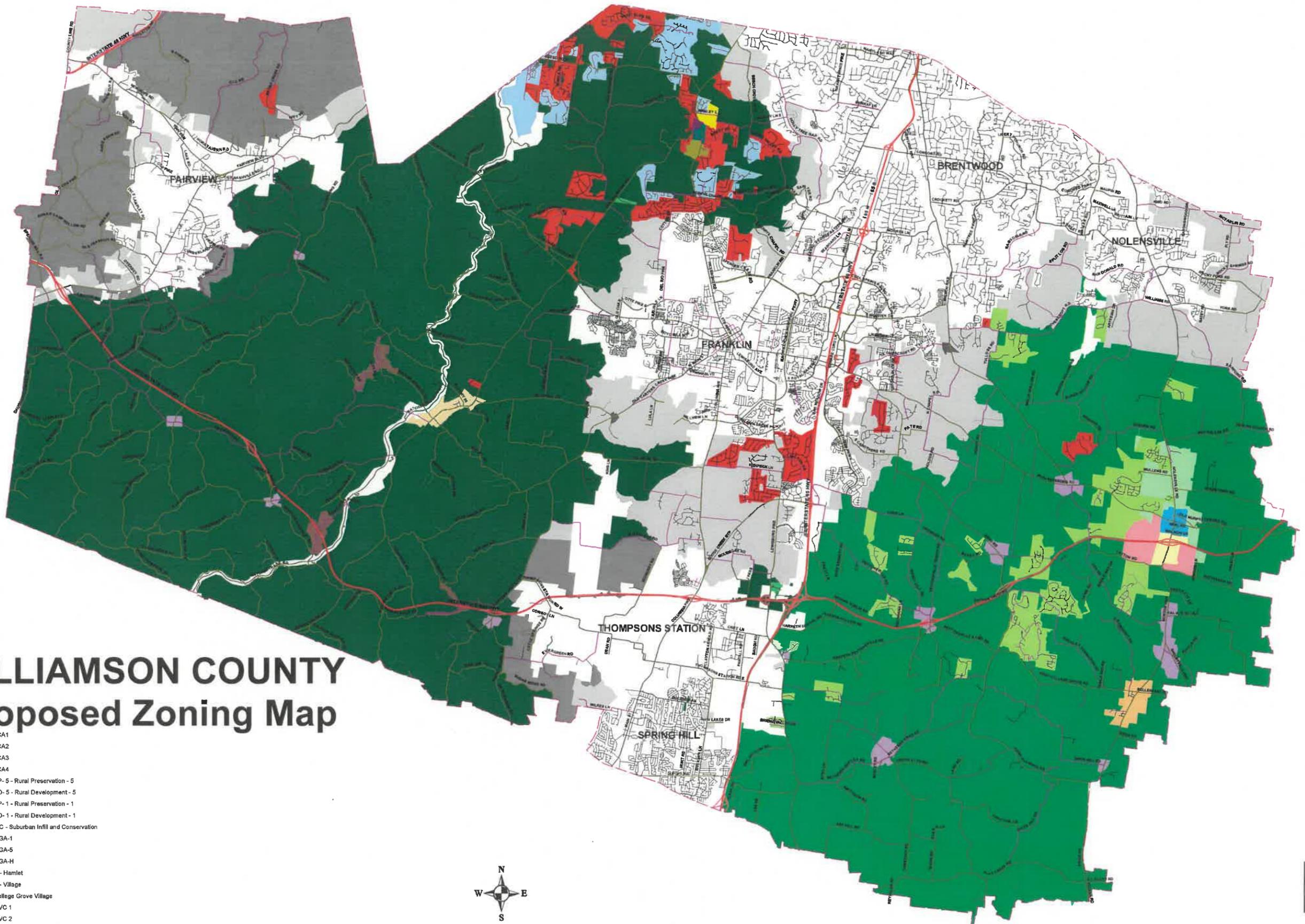
- County Boundary
- Parcels
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured House
- 840C - 840 Center District



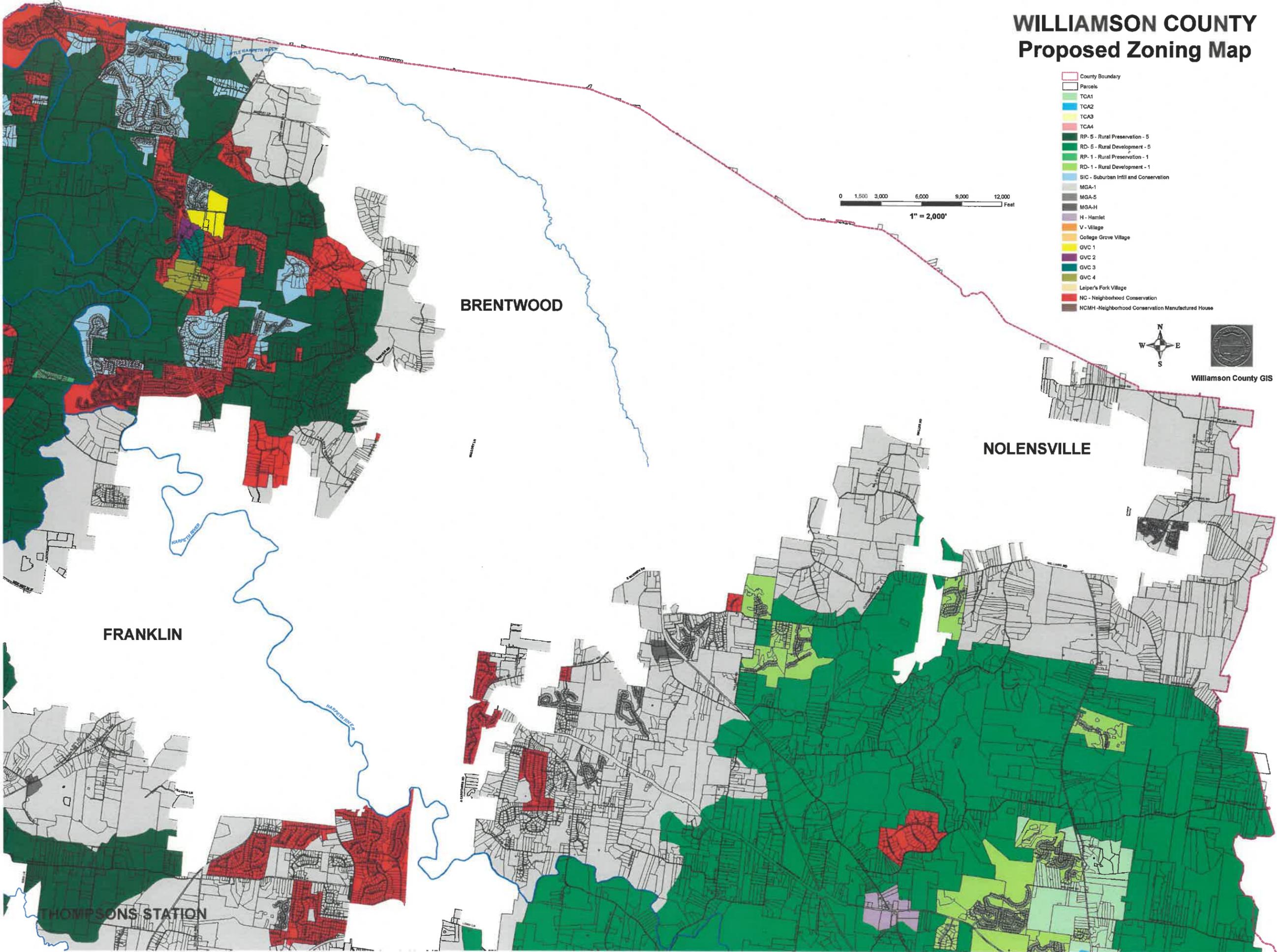
Williamson County GIS

WILLIAMSON COUNTY Proposed Zoning Map

- TCA1
- TCA2
- TCA3
- TCA4
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured House



WILLIAMSON COUNTY Proposed Zoning Map



- County Boundary
- Parcels
- TCA1
- TCA2
- TCA3
- TCA4
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured House

0 1,500 3,000 6,000 9,000 12,000 Feet
1" = 2,000'



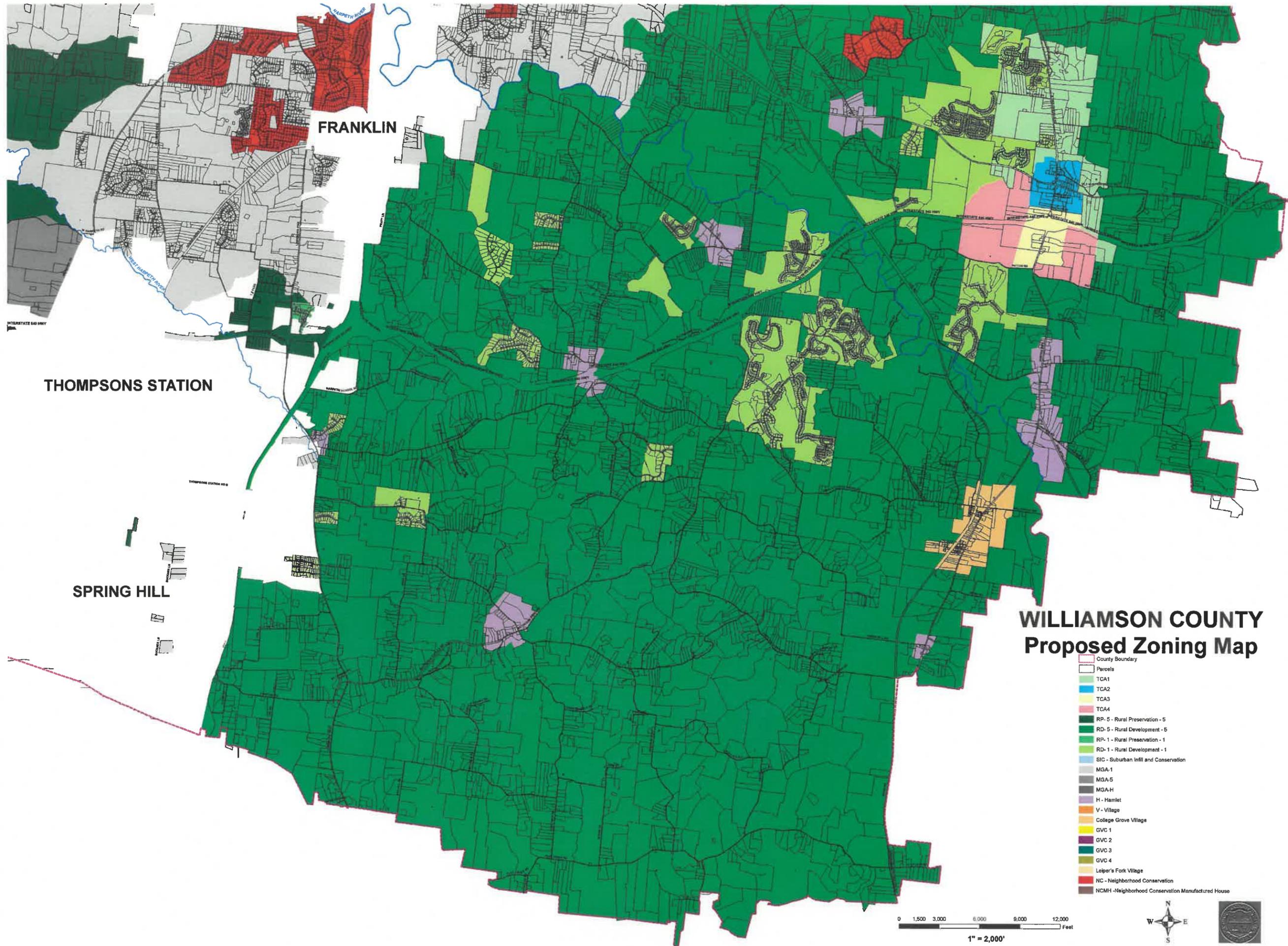
Williamson County GIS

BRENTWOOD

NOLENSVILLE

FRANKLIN

THOMPSONS STATION



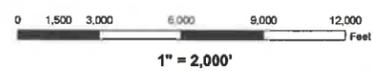
FRANKLIN

THOMPSONS STATION

SPRING HILL

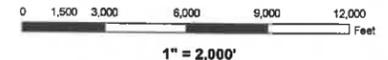
WILLIAMSON COUNTY Proposed Zoning Map

- County Boundary
- Parcels
- TCA1
- TCA2
- TCA3
- TCA4
- RP- 5 - Rural Preservation - 5
- RD- 5 - Rural Development - 5
- RP- 1 - Rural Preservation - 1
- RD- 1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH -Neighborhood Conservation Manufactured House

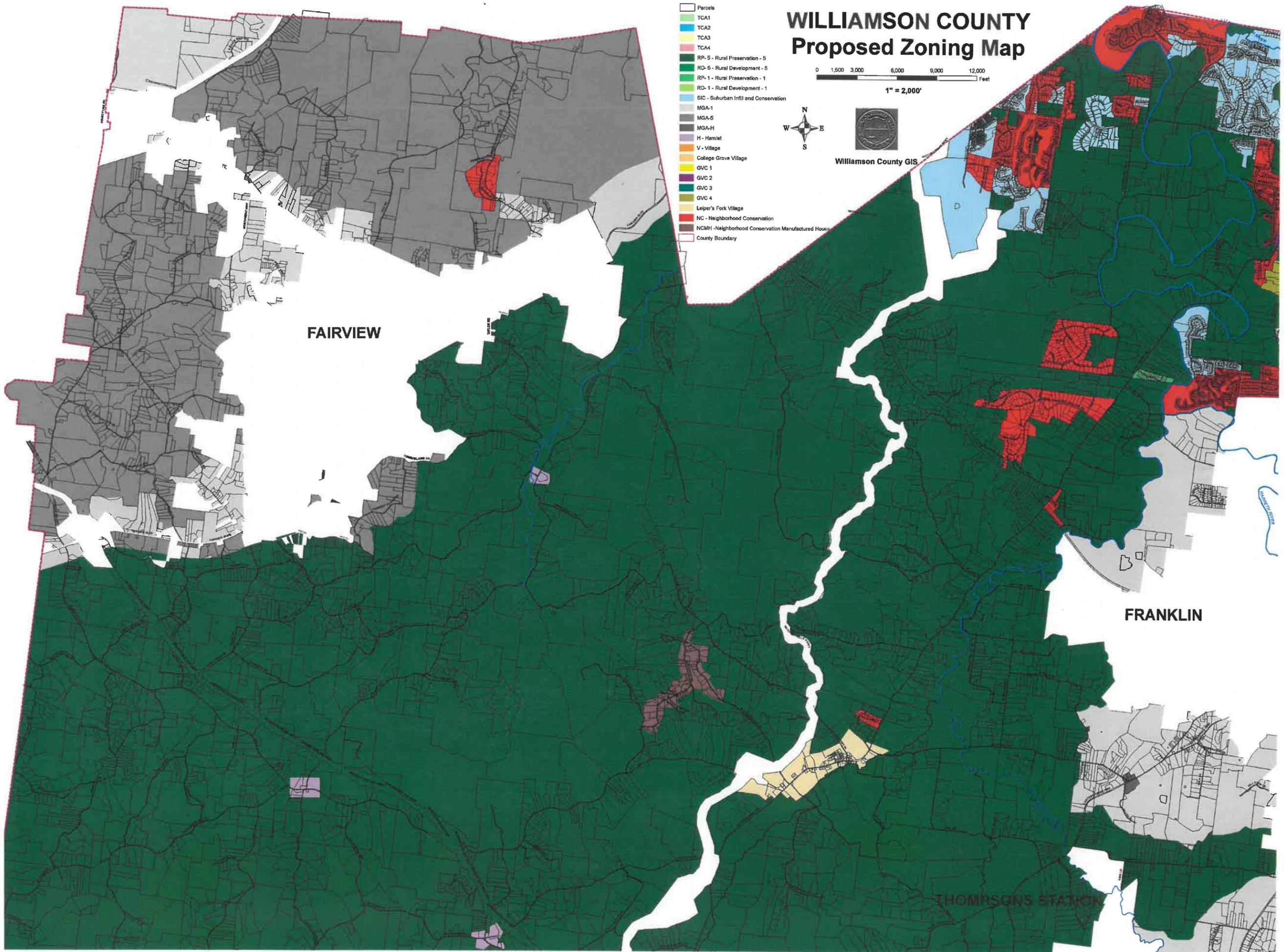


WILLIAMSON COUNTY Proposed Zoning Map

- Parcels
- TCA1
- TCA2
- TCA3
- TCA4
- RP-5 - Rural Preservation - 5
- RD-5 - Rural Development - 5
- RP-1 - Rural Preservation - 1
- RD-1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH - Neighborhood Conservation Manufactured Housing
- County Boundary



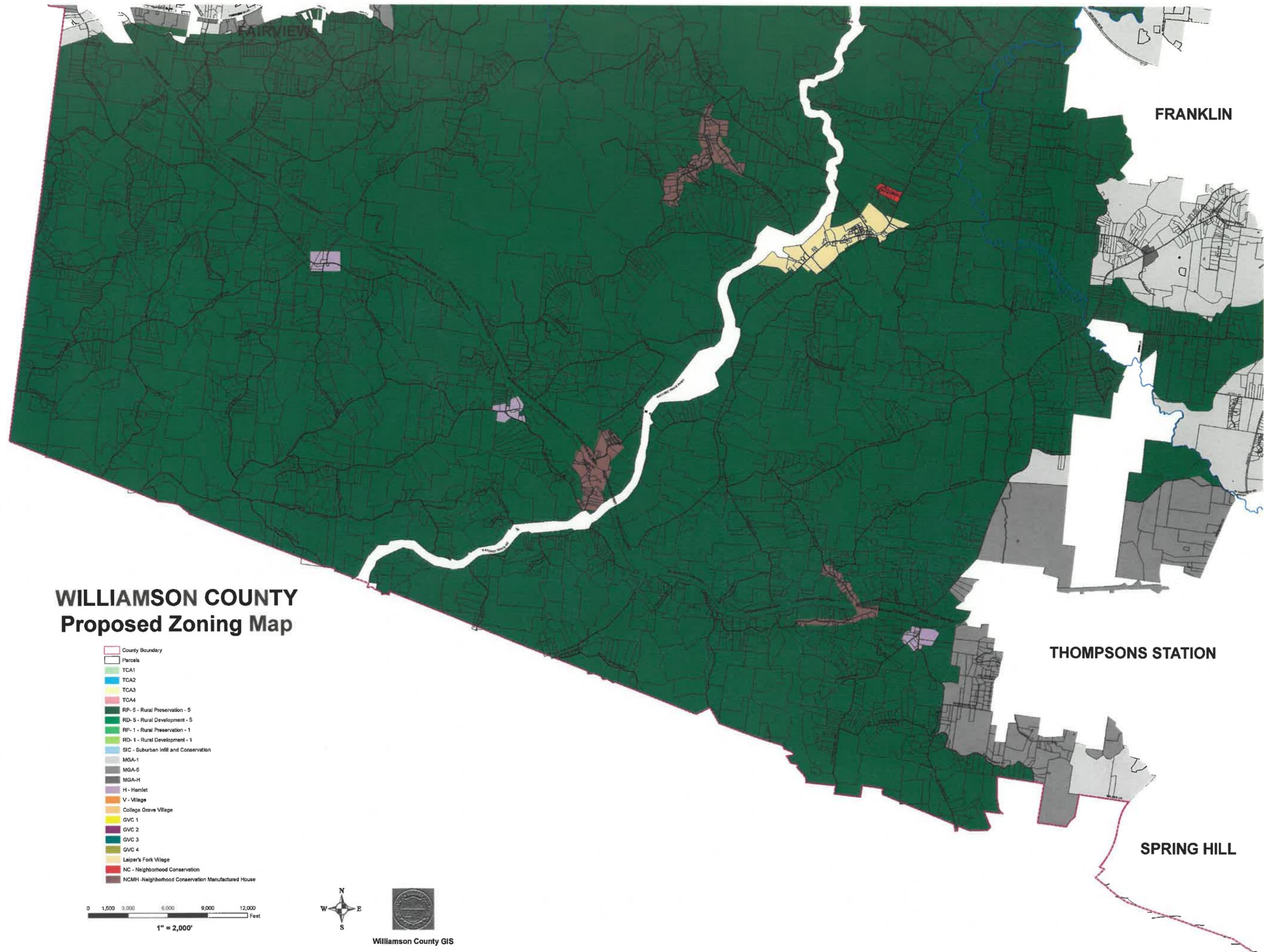
Williamson County GIS



FAIRVIEW

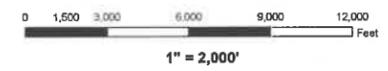
FRANKLIN

THOMPSONS STATION



WILLIAMSON COUNTY Proposed Zoning Map

- County Boundary
- Parcels
- TCA1
- TCA2
- TCA3
- TCA4
- RP- 5 - Rural Preservation - 5
- RD- 5 - Rural Development - 5
- RP- 1 - Rural Preservation - 1
- RD- 1 - Rural Development - 1
- SIC - Suburban Infill and Conservation
- MGA-1
- MGA-5
- MGA-H
- H - Hamlet
- V - Village
- College Grove Village
- GVC 1
- GVC 2
- GVC 3
- GVC 4
- Leiper's Fork Village
- NC - Neighborhood Conservation
- NCMH -Neighborhood Conservation Manufactured House



Williamson County GIS

FRANKLIN

THOMPSONS STATION

SPRING HILL

ATTACHMENT 36-2

RESOLUTION NO. _____

Requested by: **Regional Planning Commission
Planning Department**

A RESOLUTION TO AMEND THE OFFICIAL ZONING MAP BY EXPANDING THE RURAL PRESERVATION – 5 AND RURAL DEVELOPMENT-5 ZONING DISTRICTS

WHEREAS, on May 14, 2012, the Board of County Commissioners adopted the Update to the Zoning Ordinance (“2013 Zoning Ordinance”) and Official Zoning Map, and established an effective date of January 1, 2013; and

WHEREAS, Williamson County, Tennessee, by and through its Regional Planning Commission, has adopted a revised Comprehensive Land Use Plan (hereafter the Plan) in 2020; and

WHEREAS, that planning process placed a very strong emphasis on public participation, including two well-attended public meetings at key planning stages as well as multiple online opportunities for citizen feedback, resulting in hundreds of citizens providing meaningful input and ensuring that the Plan reflects a broad base of community values, and

WHEREAS, the Plan represents a vision for the future growth and preservation of the unincorporated areas of the County; and

WHEREAS, the Plan outlines the County’s policies for desired land use patterns, rural preservation efforts, open space and natural resource protection, the quality and character of growth, and the provision of public services and facilities; and

WHEREAS, among other things, the Plan calls for preserving rural character in outlying areas and focusing the majority of new growth in and around the municipalities where infrastructure is in place, or can be readily provided, to accommodate development; and

WHEREAS, significant public input and extensive research and analysis establish that the development pattern outlined in the Plan aligns with the community character envisioned by the majority of citizens and better addresses traffic/roadway improvement needs and overall fiscal impacts than the previous Comprehensive Land Use Plan; and

WHEREAS, to accomplish this development pattern, the Plan recommends reducing allowable densities in rural areas (except in designated Hamlets or Villages) from 1 unit-per-acre to 1 unit-per-5 acres; and

WHEREAS, the majority of rural Williamson County already has a 1 unit-per-5 acre zoning designation and this proposed change would result in more consistency across the County; and

WHEREAS, reducing the allowable densities helps to implement the Plan and further the following goals as stated therein.:

1. Maintain the quality, character, and low-density nature of rural and agricultural areas outside of the Municipal Growth Areas,
2. Encourage growth to occur in an efficient and fiscally responsible pattern with new development guided strategically into and around existing developed areas,
3. Provide well-functioning public services and facilities consistent with an efficient pattern of rural and suburban land uses, and
4. Conserve and protect the County’s natural environment, open spaces and historic resources.; and

WHEREAS, individual notice was mailed to every property owner affected by the proposed Map Amendment directing them to a page on the County website advising of multiple methods to acquire information, submit questions and provide feedback regarding the proposed Map Amendment; and

WHEREAS, the County also reached out to specific stakeholder groups including realtors, developers and large landowners who had previously expressed interest in the Plan in order to receive feedback and answer questions regarding the proposed Map Amendment; and

WHEREAS, the County held two public meetings for those affected property owners, which meetings were conducted consistent with safety guidelines for Covid-19; and

WHEREAS, after this period of public comment, the Planning Staff developed the proposed Official Zoning Map Amendment, which is attached hereto and incorporated herein, and which also reflects some changes based upon comments received; and

WHEREAS, individual notice was again mailed to each affected property owner with information regarding the proposed amendments to the Official Zoning Map and proposed amendments to the Zoning Ordinance, including the date, time, location and method for participation in the public hearings before the Regional Planning Commission and the Board of County Commissioners; and

WHEREAS, the proposed amendments to the Official Zoning Map and proposed amendments to the Zoning Ordinance were also made available on the County website; and

WHEREAS, on October 8, 2020, the Williamson County Regional Planning Commission conducted its official Public Hearing on this amendment, which is attached hereto and incorporated herein; and

WHEREAS, based upon its consideration of the Comprehensive Land Use Plan, all the information provided, Staff Reports, public comment and its own Public Hearing, the Williamson County Regional Planning Commission has recommended the adoption of the amendment to the Official Zoning Map as presented; and

WHEREAS, the Board of County Commissioners finds and determines that the best interests of Williamson County and its citizens will be served by the adoption of this amendment to the Williamson County Official Zoning Map as recommended by the Regional Planning Commission; and

WHEREAS, due notice has been published and a public hearing has been held as required by the Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners at its regular meeting on this the 9th day of November, 2020, after conducting the public hearing as required by law, hereby adopts the amendment to the Williamson County Official Zoning Map, which is attached hereto and incorporated herein as if included verbatim, in accordance with its authority in Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the amendment will be effective and enforced as of the 1st day of January, 2021.

County Commissioner

COMMITTEES REFERRED TO AND ACTION TAKEN:

Regional Planning Commission: For: Against:

Commission Action Taken: For: _____ Against: _____ Pass: _____ Out: _____

Elaine Anderson, County Clerk

Tommy Little, Commission Chairman

Rogers C. Anderson, County Mayor

Date

RP-5

ADDRESS,C, 64	GISLIN K,C,26
2003 OLD HILLSBORO RD	065 04101
1645 OLD HILLSBORO RD	038 02405
1985 OLD HILLSBORO RD	065 04104
OLD HILLSBORO RD	065 04109
7435 LES HUGHES RD	041 02500
NEW HWY 96 W	065 05500
KINNARD SPRINGS RD	119 01001
1947 OLD HILLSBORO RD	065 05500
7456 SLEEPY HOLLOW RD	069 10700
3255 KINNARD SPRINGS RD	104 04040
3275 KINNARD SPRINGS RD	119 01000
7630 SLEEPY SUMMIT LN	069 12308
2506 OLD CHARLOTTE PK	064 00102
3022 CARTERS CREEK PK	104 04500
1721 OLD HILLSBORO RD	051 01015
KINNARD SPRINGS RD	120 00918
3290 BLAZER RD	076 05901
1760 OLD HILLSBORO RD	050 01623
OLD NASHVILLE RD	042 08201
3721 NEW HWY 96 W	050 01508
1933 OLD HILLSBORO RD	065 05507
7451 SLEEPY HOLLOW RD	069 10500
1960 OLD HILLSBORO RD	065 03700
1623 LEWISBURG PK	133 00902
7342 TAYLOR RD	042 07705
COLEMAN RD	104 03902
7310 MAMIE LN	072 05100
7105 CARTER RD	041 02000
7354 DEER RIDGE RD	072 05004
3206 BAKER LN	104 04029
3285 BLAZER RD	076 06306
1501 COLEMAN RD	104 02800
LIBERTY RD	069 13102
3170 MCMILLAN RD	076 06301
1300 KITTRELL RD	104 02101
7506 SLEEPY HOLLOW RD	068 03602

3726 OLD CHARLOTTE PK	050 01612
KITTRELL RD	104 02302
3350 BLAZER RD	076 05202
7782 CANEY FORK RD	069 15600
2708 BUCKNER RD	154 06400
7715 FERNVALE RD	047 10507
3727 OLD CHARLOTTE PK	050 01614
1515 -17 COLEMAN RD	104 03100
3304 RUNNING SPRINGS CT	104 04035
7477 SLEEPY HOLLOW RD	069 12500
7252 DEER RIDGE RD	069 08800
7650 SLEEPY SUMMIT LN	069 12306
7265 DEER RIDGE RD	069 13700
7150 CARTER RD	042 09400
7319 HENRY RD	069 11200
OLD HARDING RD	023 06800
7310 LIBERTY RD	069 10601
3340 BLAZER RD	076 05203
7621 FERNVALE RD	047 10200
3295 BLAZER RD	076 06304
HENPECK LN	105 00400
1930 OLD HILLSBORO RD	065 05502
1355 KITTRELL RD	104 02303
3239 BOYD MILL PK	065 05100
1319 KING LN	104 03700
7260 DEER RIDGE RD	069 13100
3715 NEW HWY 96 W	050 01606
7380 DEER RIDGE RD	072 05001
7420 SLEEPY HOLLOW LN	069 12304
3305 RUNNING SPRINGS CT	104 04038
CANEY FORK RD	072 04603
7725 CANEY FORK RD	072 04800
3246 KINNARD SPRINGS RD	104 04000
7264 DEER RIDGE RD	069 13400
LIBERTY RD	069 13103
7716 CANEY FORK RD	069 13200
1509 -11 COLEMAN RD	104 03000
2498 OLD CHARLOTTE PK	064 00105
7236 DEER RIDGE RD	069 09102
KITTRELL RD	104 02305

3100 BOXLEY VIEW LN	076 06502
7225 DEER RIDGE RD	069 09001
7466 SLEEPY HOLLOW RD	069 12200
1545 OLD HILLSBORO RD	038 02001
7296 DEER RIDGE RD	069 13601
BLAZER RD	076 06309
7310 HUNTING CAMP RD	042 08801
COLEMAN RD	104 01807
7363 DEER RIDGE RD	072 05005
7370 DEER RIDGE RD	072 05000
7323 LIBERTY RD	069 13000
1331 KITTRELL RD	104 01305
1492 COLEMAN RD	104 00800
7380 TAYLOR RD	041 03700
1574 COLEMAN RD	104 00100
3273 BLAZER RD	076 06300
7376 TAYLOR RD	041 03603
7473 LIBERTY RD	070 01604
3710 NEW HWY 96 W	050 01624
3215 BOYD MILL PK	065 04700
7324 LIBERTY RD	069 12900
1493 COLEMAN RD	104 03903
7330 TAYLOR RD	042 07706
7312 LIBERTY RD	069 10603
7316 LIBERTY RD	069 10602
3703 OLD CHARLOTTE PK	050 01618
1944 OLD HILLSBORO RD	065 05504
7481 LIBERTY RD	070 01613
LIBERTY RD	070 01611
3789 NEW HWY 96 W	050 01807
7301 HENRY RD	069 11800
7780 CANEY FORK RD	072 04501
7360 LIBERTY RD	069 08700
7477 LIBERTY RD	070 01612
1954 OLD HILLSBORO RD	065 03800
7334 -36 LIBERTY RD	069 13101
3325 BLAZER HILL LN	077 03807
1325 KITTRELL RD	104 01304
OLD HILLSBORO RD	051 01017
3209 BAKER LN	104 04020
2614 OLD CHARLOTTE PK	064 00106

7325 DEER RIDGE RD	069 13602
DEER RIDGE RD	072 05012
7309 HUNTING CAMP RD	042 08900
7480 SLEEPY HOLLOW RD	069 12400
3713 NEW HWY 96 W	050 01605
1338 COLEMAN RD	105 00504
1938 OLD HILLSBORO RD	065 05503
3000 CARTERS CREEK PK	091 15401
7352 TAYLOR RD	041 01604
7262 DEER RIDGE RD	069 13405
7364 TAYLOR RD	041 03602
1394 KITTRELL RD	104 02206
7305 HENRY RD	069 11700
2093 CARTERS CREEK PK	091 15000
1925 OLD HILLSBORO RD	065 05508
3715 OLD CHARLOTTE PK	050 01620
3700 NEW HWY 96 W	050 01626
3212 BAKER LN	104 04028
7313 TAYLOR RD	042 07704
3231 BOYD MILL PK	065 05000
7374 DEER RIDGE RD	072 05002
7359 DEER RIDGE RD	072 04300
3309 RUNNING SPRINGS CT	104 04037
3201 BOYD MILL PK	065 04400
7156 CARTER RD	042 09501
DEER RIDGE RD	072 05006
CARTERS CREEK PIKE	091 15400
7334 SOUTHERN RD	069 08601
7460 SLEEPY HOLLOW RD	069 12100
3291 BLAZER RD	076 06305
7311 HENRY RD	069 11500
7272 DEER RIDGE RD	069 13402
1738 OLD HILLSBORO RD	050 01622
7216 DEER RIDGE RD	069 09100
1577 OLD HILLSBORO RD	038 02005
3300 RUNNING SPRINGS CT	104 04034
3104 BOXLEY VIEW LN	076 06503
OLD HILLSBORO RD	051 01007
7448 SLEEPY HOLLOW RD	069 10900
DEER RIDGE RD	072 05013

1441 COLEMAN RD	104 02400
2097 CARTERS CREEK PK	091 15100
7319 HUNTING CAMP RD	042 09100
1375 KITTRELL RD	104 02300
7367 TAYLOR RD	041 01901
1586 COLEMAN RD	104 04300
7741 CANEY FORK RD	072 04701
7340 TAYLOR RD	042 07702
3277 BLAZER RD	076 06311
7366 TAYLOR RD	041 03601
7473 SLEEPY HOLLOW RD	069 12600
OLD CHARLOTTE PK	064 00113
7510 SLEEPY HOLLOW RD	068 03607
7330 SOUTHERN RD	069 08600
7303 COLDWATE R RD	068 04401
3101 BOXLEY VIEW LN	076 06510
1323 KING LN	104 03800
3259 BLAZER RD	076 06308
3352 BLAZER RD	076 05201
3287 BLAZER RD	076 06307
2465 OLD CHARLOTTE PK	064 00107
3233 BAKER LN	104 04022
7315 COLDWATE R RD	068 04407
3018 CARTERS CREEK PK	104 04600
2627 OLD CHARLOTTE PK	064 00101
7356 TAYLOR RD	041 01602
3284 BLAZER RD	076 06000
7620 SLEEPY SUMMIT LN	069 12309
2441 OLD CHARLOTTE PK	064 00201
COLEMAN RD	104 00500
2441 OLD CHARLOTTE PK	064 00201
1404 COLEMAN RD	104 01806
1584 COLEMAN RD	104 04401
KING LN	104 03601
1984 OLD HILLSBORO RD	065 03600
7317 HUNTING CAMP RD	042 09001
7306 LIBERTY RD	069 12700

2639 OLD CHARLOTTE PK	051 00802
2631 OLD CHARLOTTE PK	064 00109
2090 CARTERS CREEK PK	091 15500
2088 CARTERS CREEK PK	091 15600
BOYD MILL PK	065 04500
7355 HUNTING CAMP RD	042 09802
7114 COOPER LN	041 01501
1503 COLEMAN RD	104 02801
2630 OLD CHARLOTTE PK	064 00108
1519 COLEMAN RD	104 03200
3005 CARTERS CREEK PK	091 15200
1596 COLEMAN RD	104 04100
OLD HILLSBORO RD	065 04108
1687 OLD HILLSBORO RD	051 01105
3221 BAKER LN	104 04021
7743 CANEY FORK RD	072 04702
7325 COLDWATE R RD	073 00801
7258 DEER RIDGE RD	069 13104
1711 OLD HILLSBORO RD	051 01013
7360 TAYLOR RD	041 01701
BLAZER RD	076 06100
3719 NEW HWY 96 W	050 01607
7351 DEER RIDGE RD	072 04301
7250 DEER RIDGE RD	069 08900
7640 SLEEPY SUMMIT LN	069 12307
7345 HUNTING CAMP RD	042 09806
7323 HENRY RD	069 11100
3704 NEW HWY 96 W	050 01625
3308 RUNNING SPRINGS CT	104 04036
1365 KITTRELL RD	104 02304
3009 CARTERS CREEK PK	104 04900
1315 KING LN	104 03600
7449 LES HUGHES RD	048 00301
COLEMAN RD	104 03905
7341 HUNTING CAMP RD	042 09800
3205 BAKER LN	104 04019
7790 CANEY FORK RD	072 04400
1582 COLEMAN RD	104 04400

2636 OLD CHARLOTTE PK	051 00804
3308 BLAZER RD	076 05800
7617 FERNVALE RD	047 10300
7386 TAYLOR RD	041 03800
7341 SOUTHERN RD	069 08400
3726 NEW HWY 96 W	050 01619
HENRY RD	069 11401
7268 DEER RIDGE RD	069 13404
3301 RUNNING SPRINGS CT	104 04039
7320 MAMIE LN	072 05007
7331 DEER RIDGE RD	069 13800
OLD HILLSBORO RD	051 01005
1478 COLEMAN RD	104 01205
7410 SLEEPY HOLLOW LN	069 12303
2613 OLD CHARLOTTE PK	064 00111
3014 CARTERS CREEK PK	104 04700
SLEEPY HOLLOW RD	069 12300
7304 HUNTING CAMP RD	042 08800
3714 NEW HWY 96 W	050 01621
1587 OLD HILLSBORO RD	038 02100
1416 COLEMAN RD	104 01600
1505 COLEMAN RD	104 02900
3705 NEW HWY 96 W	050 01604
7430 SLEEPY HOLLOW LN	069 12305
7469 SLEEPY HOLLOW RD	069 10600
COLEMAN RD	105 00303
7368 DEER RIDGE RD	072 05011
COLEMAN RD	104 00202
OLD HILLSBORO RD	051 01011
OLD CHARLOTTE PK	064 00202
RUNNING SPRINGS CT	104 04044
7710 CANEY FORK RD	068 04301
DEER RIDGE RD	072 05003
1776 OLD HILLSBORO RD	050 01616
7452 SLEEPY HOLLOW RD	069 10800
2096 CARTERS CREEK PK	091 14800
HUNTING CAMP RD	042 09807
7344 HUNTING CAMP RD	042 09801

BLAZER RD	077 03809
1945 OLD HILLSBORO RD	065 05506
3242 KINNARD SPRINGS RD	104 04017
2465 OLD CHARLOTTE PK	064 00107
7375 TAYLOR RD	041 03401
7683 CANEY FORK RD	068 04300
1560 OLD COLEMAN RD	104 00200
1482 COLEMAN RD	104 01000
7677 CANEY FORK RD	068 04302
7710 CANEY FORK RD	068 04301
3305 BOYD MILL PK	076 02700
OLD CHARLOTTE PK	064 00200
3313 BOYD MILL PK	076 02900
3309 BOYD MILL PK	076 02800
3303 BOYD MILL PK	065 05400
OLD CHARLOTTE PK	064 00104
COLEMAN RD	105 00300
7470 LIBERTY RD	069 07700
1772 OLD HILLSBORO RD	050 01627
1488 COLEMAN RD	104 00900
1770 OLD HILLSBORO RD	050 01613
1447 COLEMAN RD	104 02500
1709 OLD HILLSBORO RD	051 01001
1430 COLEMAN RD	104 01401
1440 COLEMAN RD	104 01301
1454 COLEMAN RD	104 01308
1436 COLEMAN RD	104 01400
COLEMAN RD	104 01902
1342 COLEMAN RD	105 00503
1406 COLEMAN RD	104 01800
1435 COLEMAN RD	104 02100
1476 COLEMAN RD	104 01203
OLD CHARLOTTE PK	064 00104
3105 BOXLEY VIEW LN	076 06509
OLD HILLSBORO RD	050 01615
1400 COLEMAN RD	104 01803

1402 COLEMAN RD	104 01805
COLEMAN RD	104 01804
1412 COLEMAN RD	104 01700
101 BECKY PVT LN	050 01811
111 BECKY PVT LN	050 01800
2001 OLD HILLSBORO RD	065 04103
3759 NEW HWY 96 W	050 01808
7310 MAMIE LN	072 05100
3739 NEW HWY 96 W	050 01809
7683 CANEY FORK RD	068 04300
1427 COLEMAN RD	104 02000
7440 SLEEPY HOLLOW LN	068 03601
3010 CARTERS CREEK PK	104 04800
7372 DEER RIDGE RD	072 05008
COLEMAN RD	104 01307
1996 OLD HILLSBORO RD	065 03500
7235 DEER RIDGE RD	069 09000
2630 OLD CHARLOTTE PK	064 00108
OLD CHARLOTTE PK	064 00302
2411 OLD CHARLOTTE PK	064 00301
1929 OLD HILLSBORO RD	065 05509
104 BECKY PVT LN	050 01812
3201 BAKER LN	104 04018
3243 KINNARD SPRINGS RD	104 04033
3239 KINNARD SPRINGS RD	104 04032
3234 KINNARD SPRINGS RD	104 04030
7503 FERVALE RD	042 10100
7307 HUNTING CAMP RD	042 10001
3247 KINNARD SPRINGS RD	104 04042
3710 PISHON TRL	050 01915
3706 PISHON TRL	050 01914
3700 PISHON TRL	050 01900
7315 GABRIEL LN (PVT)	042 10002
7331 HUNTING CAMP RD	042 09900
2736 MCLEMORE RD	132 01105
HUNTING CAMP RD	042 09200
7350 SOUTHERN RD	069 08500
2740 MCLEMORE RD	132 01103

SLEEPY HOLLOW RD	069 12803
1352 COLEMAN RD	105 00202
COLEMAN RD	105 00302
COLEMAN RD	105 00301
1348 COLEMAN RD	105 00201
1344 COLEMAN RD	105 00200
3815 NEW HWY 96 W	050 01907
3701 PISHON TRL	050 01912
1920 OLD HILLSBORO RD	065 05501
SOUTHERN RD	069 06603
7270 DEER RIDGE RD	069 13401
2457 TOM ANDERSON RD	132 00707
2500 TOM ANDERSON RD	132 03708
2480 T J PASS	132 03703
1642 LEWISBURG PK	132 02101
2743 MCLEMORE RD	132 03704
2469 TOM ANDERSON RD	132 00712
2491 TOM ANDERSON RD	132 00705
2495 TOM ANDERSON RD	132 00704
2501 TOM ANDERSON RD	132 00710
2499 TOM ANDERSON RD	132 00703
2497 TOM ANDERSON RD	132 03800
2590 TOM ANDERSON RD	132 03100
2483 TOM ANDERSON RD	132 00708
2596 TOM ANDERSON RD	132 03000
2487 TOM ANDERSON RD	132 00706
TOM ANDERSON RD	132 00714
2750 MCLEMORE RD	132 01700
7487 SLEEPY HOLLOW RD	069 12302
LES HUGHES RD	041 04300
1718 OLD HILLSBORO RD	051 00600
MCLEMORE RD	132 03705
2726 MCLEMORE RD	132 01104
2505 TOM ANDERSON RD	132 00701
2722 MCLEMORE RD	132 01100
2584 TOM ANDERSON RD	132 03200

7494 SLEEPY HOLLOW RD	068 03604
7498 SLEEPY HOLLOW RD	068 03600
7404 LES HUGHES RD	041 04303
1722 OLD HILLSBORO RD	051 00700
DEER RIDGE RD	069 09101
7411 LES HUGHES RD	041 03101
7396 LES HUGHES RD	041 04301
LES HUGHES RD	041 03200
7424 LES HUGHES RD	041 02900
7441 LES HUGHES RD	041 02600
7402 LES HUGHES RD	041 04302
7421 LES HUGHES RD	041 03100
7428 LES HUGHES RD	041 02701
1340 COLEMAN RD	105 00502
7490 SLEEPY HOLLOW RD	069 12301
7397 LES HUGHES RD	041 03301
1697 OLD HILLSBORO RD	051 01003
7425 LES HUGHES RD	041 03001
LES HUGHES RD	041 04304
OLD NASHVILLE RD	042 08300
1481 COLEMAN RD	104 02700
1459 COLEMAN RD	104 02306
COLEMAN RD	104 01801
COLEMAN RD	105 00304
COLEMAN RD	104 02301
3109 BOXLEY VIEW LN	076 06511
1900 W HARPETH RD	120 00906
1902 W HARPETH RD	120 00915
3705 PISHON TRL	050 01916
KITTRELL RD	104 02200
3807 NEW HWY 96 W	050 01910
1463 COLEMAN RD	104 02600
1311 KING LN	104 03500
3251 KINNARD SPRINGS RD	104 04041
1380 COLEMAN RD	105 00101
1910 W HARPETH RD	120 00909
1527 COLEMAN RD	104 03400
2730 MCLEMORE RD	132 01101
2640 OLD CHARLOTTE PK	051 00805

BLAZER RD	076 05200
2734 MCLEMORE RD	132 01102
OLD COLEMAN RD	104 00203
2637 OLD CHARLOTTE PK	051 00806
2635 OLD CHARLOTTE PK	064 00110
7705 FERVALE RD	047 10400
1733 OLD HILLSBORO RD	051 00800
MCLEMORE RD	132 01106
1523 COLEMAN RD	104 03300
3207 BOYD MILL PK	065 04600
1560 OLD COLEMAN RD	104 00200
1955 OLD HILLSBORO RD	065 03902
2742 MCLEMORE RD	132 01702
2744 MCLEMORE RD	132 01701
OLD CHARLOTTE PK	064 00200
2733 MCLEMORE RD	132 03706
3722 NEW HWY 96 W	050 01617
2465 TOM ANDERSON RD	132 00711
7377 TAYLOR RD	041 03400
7500 SLEEPY HOLLOW RD	068 03606
5028 CARTERS CREEK PK	120 00908
7391 LES HUGHES RD	041 03302
5023 CARTERS CREEK PK	120 00803
1590 COLEMAN RD	104 04200
3006 CARTERS CREEK PK	091 15300
2610 OLD CHARLOTTE PK	064 00100
5020 CARTERS CREEK PK	120 00904
1914 W HARPETH RD	120 00905
5043 CARTERS CREEK PK	120 00801
7118 CARTER RD	041 03300
2643 OLD CHARLOTTE PK	051 00801
1622 LEWISBURG PK	132 02100
2745 MCLEMORE RD	132 03702
OLD CHARLOTTE PK	064 00300
5016 CARTERS CREEK PK	120 00903

7470 LIBERTY RD	069 07700
2405 OLD CHARLOTTE PK	064 00303
CARTERS CREEK PIKE	120 00902
3833 NEW HWY 96 W	050 02000
1979 OLD HILLSBORO RD	065 03901
1949 OLD HILLSBORO RD	065 03900
2014 OLD HILLSBORO RD	065 03400
BLAZER RD	076 05000
3235 BOYD MILL PK	065 04900
7327 HUNTING CAMP RD	042 09202
BOYD MILL PK	065 04302
1683 OLD HILLSBORO RD	051 01104
3108 BOXLEY VIEW LN	076 06512
HUNTING CAMP RD	042 10003
7107 CARTER RD	041 02100
3274 BLAZER RD	076 06500
7350 TAYLOR RD	041 01600
CANEY FORK RD	072 04602
7370 TAYLOR RD	041 03604
3259 BOYD MILL PK	065 05200
3225 BOYD MILL PK	065 04800
7363 TAYLOR RD	041 01900
7111 CARTER RD	041 02203
3299 BOYD MILL PK	065 05300
BOYD MILL PK	065 04303
7286 DEER RIDGE RD	069 13500
7133 CARTER RD	041 02202
3299 BLAZER RD	076 06303
1452 COLEMAN RD	104 01306
7144 CARTER RD	041 02400
TWO RIVERS LN	051 01204
4232 TWO RIVERS LN	051 01019
1442 COLEMAN RD	104 01309
TOM ANDERSON RD	132 03709
1450 COLEMAN RD	104 01300
1444 COLEMAN RD	104 01303
1401 COLEMAN RD	104 01901
2450 T J PASS	132 03701
7143 CARTER RD	042 09401
TWO RIVERS LN	051 01215
1464 COLEMAN RD	104 01204

2552 TOM ANDERSON RD	132 03603
2558 TOM ANDERSON RD	132 03602
1460 COLEMAN RD	104 01202
2560 TOM ANDERSON RD	132 03601
7137 CARTER RD	041 02201
1468 COLEMAN RD	104 01200
1707 OLD HILLSBORO RD	051 01008
7305 HUNTING CAMP RD	042 10000
2488 TOM ANDERSON RD	132 03700
1516 COLEMAN RD	104 00400
1508 COLEMAN RD	104 00401
1399 COLEMAN RD	104 01900
2556 TOM ANDERSON RD	132 03600
2578 TOM ANDERSON RD	132 03300
2570 TOM ANDERSON RD	132 03401
3270 BLAZER RD	076 06501
3113 BOXLEY VIEW LN	076 06507
1591 OLD HILLSBORO RD	038 02201
7455 LES HUGHES RD	041 02702
7450 LES HUGHES RD	048 00400
LES HUGHES RD	041 02700
OLD HILLSBORO RD	050 01602
7416 LES HUGHES RD	041 02800
3325 BLAZER RD	076 05103
3305 BOYD MILL PK	076 02700
3224 BAKER LN	104 04025
3228 BAKER LN	104 04024
2019 OLD HILLSBORO RD	065 04200
OLD HILLSBORO RD	065 04201
BLAZER RD	076 05200
3309 BOYD MILL PK	076 02800
2011 2015 OLD HILLSBORO RD	065 04100
3246 BOYD MILL PK	065 04300
3246 BOYD MILL PK	065 04300
3313 BOYD MILL PK	076 02900
3299 BOYD MILL PK	065 05300
BOYD MILL PK	065 04301
3246 BOYD MILL PK	065 04300

3710 PERKINS RD	120 00800
3550 GRAY LN	120 00913
OLD HILLSBORO RD	065 04201
OLD HILLSBORO RD	065 04201
BOYD MILL PK	065 04301
2019 OLD HILLSBORO RD	065 04200
2003 OLD HILLSBORO RD	065 04101
1550 COLEMAN RD	104 00201
3395 BLAZER RD	076 03000
BLAZER RD	076 05200
OLD HILLSBORO RD	065 03102
2011 2015 OLD HILLSBORO RD	065 04100
3303 BOYD MILL PK	065 05400
3216 BAKER LN	104 04027
7610 SLEEPY SUMMIT LN	069 12310
OLD HILLSBORO RD	051 01100
3041 CARTERS CREEK PK	104 05000
8006 ROSE RIDGE PVT LN	072 04705
8012 ROSE RIDGE PVT LN	069 15602
8018 ROSE RIDGE PVT LN	069 15603
CANEY FORK RD	069 15601
7720 CANEY FORK RD	069 13300
7736 CANEY FORK RD	072 04703
CANEY FORK RD	069 13202
1673 OLD HILLSBORO RD	051 01109
7766 CANEY FORK RD	072 04600
7318 HUNTING CAMP RD	042 09205
FERNVALE RD	042 08500
COLEMAN RD	104 01904
1405 COLEMAN RD	104 01903
7130 CARTER RD	041 02300
7121 CARTER RD	041 02301
7714 CANEY FORK RD	069 13201
7760 CANEY FORK RD	072 04601
8000 ROSE RIDGE PVT LN	072 04704
OLD HILLSBORO RD	051 01010
7360 DEER RIDGE RD	072 05009
7322 HUNTING CAMP RD	042 09203

7314 HUNTING CAMP RD	042 09204
2634 OLD CHARLOTTE PK	051 00807
7181 CARTER RD	042 09600
7374 HUNTING CAMP RD	042 09700
CARTER RD	042 09602
1713 OLD HILLSBORO RD	051 01009
1336 COLEMAN RD	105 00501
1360 COLEMAN RD	105 00100
OLD CHARLOTTE PK	051 00803
1715 OLD HILLSBORO RD	051 01012
3220 BAKER LN	104 04026
OLD CHARLOTTE PK	064 00202
1500 COLEMAN RD	104 00601
1502 COLEMAN RD	104 00600
1495 COLEMAN RD	104 03900
1345 KING LN	104 03901
1496 COLEMAN RD	104 00700
1506 COLEMAN RD	104 00401
3315 BLAZER HILL LN	077 03804
7118 COOPER LN	041 01500
100 BECKY PVT LN	050 01810
2705 BUCKNER RD	154 06501
4011 BREWER PVT LN	050 01816
7323 HUNTING CAMP RD	042 09206
1485 COLEMAN RD	104 02702
3723 NEW HWY 96 W	050 01609
COLEMAN RD	105 00600
7331 HUNTING CAMP RD	042 09900
1487 COLEMAN RD	104 02701
3727 NEW HWY 96 W	050 01804
4007 BREWER PVT LN	050 01817
COLEMAN RD	105 00500
7325 HUNTING CAMP RD	042 09201
COLEMAN RD	104 01501
2465 OLD CHARLOTTE PK	064 00107
3309 BOYD MILL PK	076 02800

1420 COLEMAN RD	104 01501
3281 BLAZER RD	076 06310
LIBERTY RD	069 07902
1705 LEWISBURG PK	133 01300
7483 SLEEPY HOLLOW RD	069 12801
116 BECKY PVT LN	050 01815
7317 LIBERTY RD	069 12802
3745 NEW HWY 96 W	050 01806
3120 BOXLEY VIEW LN	077 03802
3369 BLAZER RD	076 05104
3339 BLAZER RD	076 05101
7266 DEER RIDGE RD	069 13406
7353 TAYLOR RD	041 01801
7353 TAYLOR RD	041 01800
3381 BLAZER RD	076 05100
3249 BLAZER RD	076 06312
TAYLOR RD	042 07707
7788 CANEY FORK RD	072 04502
7786 CANEY FORK RD	072 04500
7274 DEER RIDGE RD	069 13407
3116 BOXLEY VIEW LN	076 06506
1888 W HARPETH RD	120 01001
1892 W HARPETH RD	120 01000
1884 W HARPETH RD	120 01002
7338 HUNTING CAMP RD	042 09803
BLAZER RD	076 05204
1896 W HARPETH RD	120 00907
1790 JAMESON DR	133 01001
OLD HILLSBORO RD	051 00900
3220 BLAZER RD	077 03806
7457 FERNSVALE RD	042 10300
7365 HUNTING CAMP RD	042 09804
1633 LEWISBURG PK	133 00901
7458 LIBERTY RD	069 07800
7331 DEER RIDGE RD	069 13600
7713 FERNSVALE RD	047 10510
7711 FERNSVALE RD	047 10501
7392 LES HUGHES RD	041 04100
3235 KINNARD SPRINGS RD	104 04031

1456 COLEMAN RD	104 01201
6215 TEMPLE RD	015 03701
2252 N BERRYS CHAPEL RD	037 03800
3034 SMITH LN	037 04800
2048 LYNNWOOD DR	036 01311
2229 N BERRYS CHAPEL RD	037 02203
1450 OLD HILLSBORO RD	038 00502
2044 LYNNWOOD DR	036 01310
600 BEECH CREEK RD S	027 04301
2865 SAWYER BEND RD	006 02601
2419 HIDDEN RIVER LN	026 03208
7080 ASBERRY DR	005 01400
1315 ARCHERS WAY DR	014 04301
2398 N BERRYS CHAPEL RD	036 02203
1454 SNEED RD W	013 00300
2029 LYNNWOOD DR	052 09105
BEECH CREEK RD S	027 04319
OLD HILLSBORO RD	027 00403
2428 N BERRYS CHAPEL RD	028 08300
2033 LYNNWOOD DR	052 09106
KINNIE RD	026 03203
2426 N BERRYS CHAPEL RD	028 08301
OLD HILLSBORO RD	026 03300
3009 SMITH LN	037 04100
HILLSBORO RD	037 01201
1214 BEECH HILL	027 04312
2875 SAWYER BEND RD	006 02600
420 KINNIE RD	026 01900
952 SNEED RD W	014 03700
2422 N BERRYS CHAPEL RD	028 08200
4008 LYNNWOOD CT	053 00502
1276 OLD HILLSBORO RD	027 01400
2459 HIDDEN RIVER LN	026 03219
1208 SNEED RD W	014 05001
5957 ASBERRY CT	006 01700
778 SNEED RD W	014 00400
N BERRYS CHAPEL RD	036 01701
2450 HIDDEN RIVER LN	026 03230

898 CHERRY GROVE RD	014 00100
721 SNEED RD W	014 09300
112 SPENCER CREEK RD	037 01002
896 SNEED RD W	014 01800
5805 TEMPLEGAT E DR	0061 B 00300
616 BEECH CREEK RD S	027 04300
1280 OLD HILLSBORO RD	027 01500
5977 ASBERRY CT	006 01501
2731 SAWYER BEND RD	014 04000
1175 MANLEY LN E	027 04500
CHERRY GROVE RD	014 00102
1203 BEECH HILL	027 04307
1714 BERRYS CHAPEL RD	038 01400
2311 N BERRYS CHAPEL RD	036 00500
888 SNEED RD W	014 01700
3026 SMITH LN	037 05000
3033 SMITH LN	037 04700
111 COTTON LN	037 00801
1180 MANLEY LN E	027 04304
4004 LYNNWOOD CT	052 09107
1221 BRADLEY DR	027 03202
5501 LYNNWOOD WAY	036 01204
1600 RIVERLANDI NG DR	038 01302
1029 MANLEY LN E	027 04303
2156 S BERRYS CHAPEL RD	037 03604
2480 HIDDEN RIVER LN	026 03226
1219 BEECH HILL	027 04318
6239 TEMPLE RD	015 03900
3022 SMITH LN	037 05100
2451 HIDDEN RIVER LN	026 03217
2455 HIDDEN RIVER LN	026 03218
533 SNEED RD W	015 02701
301 KINNIE RD	026 03200
1215 SNEED RD W	014 05400
2410 HIDDEN RIVER LN	026 03233
3030 SMITH LN	037 04900
3029 SMITH LN	037 04600
2400 N BERRYS CHAPEL RD	036 02200
2303 N BERRYS CHAPEL RD	036 00700
3008 SMITH LN	037 05300

2145 S BERRYS CHAPEL RD	052 09804
SNEED RD W	014 05902
SAWYER BEND RD	006 02602
2025 LYNNWOOD DR	052 09104
2456 HIDDEN RIVER LN	026 03229
1476 SNEED RD W	013 00400
SNEED RD W	013 00507
LYNNWOOD DR	052 09108
2020 LYNNWOOD DR	052 09110
2840 SAWYER BEND RD	006 02704
1176 MANLEY LN E	027 04305
1226 BRADLEY DR	027 03205
1183 SNEED RD W	014 05700
2384 N BERRYS CHAPEL RD	036 02100
6097 TEMPLE RD	015 03800
CHERRY GROVE RD	014 00101
1210 BEECH HILL	027 04311
5824 CHASE VIEW RD	005M B 00100
891 SNEED RD W	014 07000
1006 TREATMENT PLANT RD	027 00406
2423 HIDDEN RIVER LN	026 03209
2177 N BERRYS CHAPEL RD	037 03000
SAWYER BEND RD	014 04200
SNEED RD W	014 05903
1216 SNEED RD W	014 05002
1225 BEECH HILL	027 04316
2374 N BERRYS CHAPEL RD	036 01800
2732 SAWYER BEND RD	014 04404
2338 N BERRYS CHAPEL RD	036 00403
3004 SMITH LN	037 05400
1213 BRADLEY DR	027 03201
4012 LYNNWOOD CT	053 00503
1111 MORAN RD	013 00800
2332 N BERRYS CHAPEL RD	036 00402
1475 SNEED RD W	013 00504
1128 BRADLEY DR	027 03208
400 KINNIE RD	026 01701
2175 S BERRYS CHAPEL RD	052 09800
1235 BRADLEY DR	027 03204
6606 MANLEY LN	027 04001

2460 HIDDEN RIVER LN	026	03228
2195 N BERRYS CHAPEL RD	037	02801
2506 OLD NATCHEZ TR	014	06200
ASBERRY CT	006	01802
2032 LYNNWOOD DR	037	05500
2420 HIDDEN RIVER LN	026	03232
2897 SAWYER BEND RD	006	02301
2131 S BERRYS CHAPEL RD	037	03501
3013 SMITH LN	037	04200
1226 BEECH HILL	027	04315
1218 BRADLEY DR	027	03206
1210 BRADLEY DR	027	03207
4016 LYNNWOOD CT	053	00504
2313 N BERRYS CHAPEL RD	036	00501
3025 SMITH LN	037	04500
CHERRY GROVE RD	014	00103
2520 OLD NATCHEZ TR	014	06100
410 COTTON LN	051	02000
711 SNEED RD W	014	09400
414 COTTON LN	051	01900
2157 S BERRYS CHAPEL RD	052	09803
2299 N BERRYS CHAPEL RD	036	00800
2443 HIDDEN RIVER LN	026	03215
2435 HIDDEN RIVER LN	026	03212
3017 SMITH LN	037	04300
124 SPENCER CREEK RD	052	01702
2307 N BERRYS CHAPEL RD	036	00600
1272 OLD HILLSBORO RD	027	01300
SNEED RD W	014	04900
1049 SNEED RD W	014	05801
2021 LYNNWOOD DR	052	09103
2427 HIDDEN RIVER LN	026	03210
1295 HUNTERS TRAIL DR	014	01401
2430 HIDDEN RIVER LN	026	03231
2181 S BERRYS CHAPEL RD	052	09808
2020 HILLSBORO RD	037	00400
6087 TEMPLE RD	015	03300
2028 LYNNWOOD DR	052	09109
2040 LYNNWOOD DR	036	01309

2479 HIDDEN RIVER LN	026	03225
808 SNEED RD W	014	01303
S BERRYS CHAPEL RD	037	03401
397 KINNIE RD	026	01702
110 SPENCER CREEK RD	037	01001
418 COTTON LN	051	01800
320 KINNIE RD	026	03204
410 KINNIE RD	026	01703
1229 SNEED RD W	014	05301
SNEED RD W	014	05500
812 SNEED RD W	014	01300
3021 SMITH LN	037	04400
529 SNEED RD W	015	02700
2139 S BERRYS CHAPEL RD	052	09801
HILLSBORO RD	052	01600
6095 TEMPLE RD	015	03500
1440 SNEED RD W	0131 B	00700
340 KINNIE RD	026	03500
2376 N BERRYS CHAPEL RD	036	01900
1493 -95 SNEED RD W	013	00502
HIDDEN RIVER LN	026	03213
968 SNEED RD W	014	03800
309 KINNIE RD	026	03201
1172 MANLEY LN E	027	04306
2500 OLD NATCHEZ TR	014	06300
1284 OLD HILLSBORO RD	027	01600
3018 SMITH LN	037	05200
840 SNEED RD W	014	01500
1249 SNEED RD W	014	05300
1045 SNEED RD W	014	05901
1827 FARMINGTO N DR	037	01800
KINNIE RD	026	01800
HILLSBORO RD	037	00402
2021 OLD S BERRYS CHAPEL RD	037	03301
864 SNEED RD W	014	01701
118 SPENCER CREEK RD	052	01700
2402 N BERRYS CHAPEL RD	036	02202
1487 SNEED RD W	013	00503
2310 N BERRYS CHAPEL RD	036	01207
1222 BEECH HILL	027	04314
2183 S BERRYS CHAPEL RD	052	09806
1223 BEECH HILL	027	04317

2717 SAWYER BEND RD	014	03900
2390 N BERRYS CHAPEL RD	036	02201
2710 HILLSBORO RD	013	01200
115 COTTON LN	037	00600
1250 HUNTERS TRAIL DR	006	02101
848 SNEED RD W	014	01600
MANLEY LN	027	06600
1101 SNEED RD W	014	05800
2447 HIDDEN RIVER LN	026	03216
2179 S BERRYS CHAPEL RD	052	09807
2268 N BERRYS CHAPEL RD	037	03900
2836 SAWYER BEND RD	006	02705
2407 HIDDEN RIVER LN	026	03205
KINNIE RD	026	03202
350 KINNIE RD	026	03501
2407 HIDDEN RIVER LN	026	03205
KINNIE RD	026	03601
2410 N BERRYS CHAPEL RD	028	08100
KINNIE RD	026	03601
1041 SNEED RD W	014	05900
OLD HILLSBORO RD	038	01000
1191 SNEED RD W	014	05600
1275 HUNTERS TRAIL DR	006	02103
HIDDEN RIVER LN	026	03213
700 SNEED RD W	014	00201
115 GARDENGA TE DR	0131 C	07200
1393 OLD HILLSBORO RD	026	03400
1229 BRADLEY DR	027	03203
893 CHERRY GROVE RD	014	00104
CHERRY GROVE RD	014	00106
897 CHERRY GROVE RD	014	00105
391 -393 KINNIE RD	026	03600
2219 N BERRYS CHAPEL RD	037	02500
350 KINNIE RD	026	03501
1041 SNEED RD W	014	05900
2095 S BERRYS CHAPEL RD	037	03300
738 SNEED RD W	014	00302
2053 LYNNWOOD DR	036	01305
2376 -B N BERRYS CHAPEL RD	036	01901
391 -393 KINNIE RD	026	03600

1381 OLD HILLSBORO RD	037	00200
S BERRYS CHAPEL RD	037	03401
S BERRYS CHAPEL RD	037	03401
1439 OLD HILLSBORO RD	038	00700
2439 HIDDEN RIVER LN	026	03214
2284 N BERRYS CHAPEL RD	036	01203
114 SPENCER CREEK RD	052	01701
2463 HIDDEN RIVER LN	026	03220
2257 N BERRYS CHAPEL RD	037	02300
2271 N BERRYS CHAPEL RD	037	02303
1407 OLD HILLSBORO RD	038	01200
326 VAUGHN RD	006M B	00100
2541 OLD NATCHEZ TR	014	06900
HILLSBORO RD	037	00402
2291 N BERRYS CHAPEL RD	036	00900
2057 HILLSBORO RD	037	01200
370 VAUGHN RD	014	04600
1100 SNEED RD W	014	04800
330 VAUGHN RD	006	03000
320 VAUGHN RD	006	02901
2261 N BERRYS CHAPEL RD	037	02302
2267 N BERRYS CHAPEL RD	037	02301
324 VAUGHN RD	006	02902
1212 SNEED RD W	014	05000
VAUGHN RD	014	04701
2337 N BERRYS CHAPEL RD	036	00400
2331 N BERRYS CHAPEL RD	036	00405
1186 -96 SNEED RD W	014	04901
360 VAUGHN RD	006	02800
2251 N BERRYS CHAPEL RD	037	02402
2163 S BERRYS CHAPEL RD	052	09805
CEDAR KNOB RD	006L B	02900
326 STABLE RD	037	00900
2049 LYNNWOOD DR	036	01306
2045 LYNNWOOD DR	036	01307
2057 LYNNWOOD DR	036	01304
4013 LYNNWOOD CT	053	00505
2277 N BERRYS CHAPEL RD	037	02304
631 BEECH CREEK RD S	027	04100

VAUGHN RD	014	04700
2304 N BERRYS CHAPEL RD	036	01209
VAUGHN RD	014	04702
2378 N BERRYS CHAPEL RD	036	02000
4001 LYNNWOOD CT	053	00507
2061 LYNNWOOD DR	036	01303
1125 BEECHS TAVERN PVT TRL	053	01005
2283 N BERRYS CHAPEL RD	036	01100
2733 SAWYER BEND RD	014	04100
2891 SAWYER BEND RD	006	02300
2832 SAWYER BEND RD	006	02706
2801 SAWYER BEND RD	014	04300
2095 S BERRYS CHAPEL RD	037	03300
1439 OLD HILLSBORO RD	038	00700
115 COTTON LN	037	00600
1218 BEECH HILL	027	04313
2809 SAWYER BEND RD	014	04302
2828 SAWYER BEND RD	014	04401
S BERRYS CHAPEL RD	052	09100
S BERRYS CHAPEL RD	037	03401
1202 BEECH HILL	027	04308
1160 MANLEY LN E	027	04309
4009 LYNNWOOD CT	053	00506
732 SNEED RD W	014	00200
736 SNEED RD W	014	00300
1206 BEECH HILL	027	04310
2345 HILLSBORO VALLEY RD	013	02402
HILLSBORO RD	007	00801
2060 HILLSBORO RD	037	00300
1111 BEECHS TAVERN PVT TRL	053	01000
2287 N BERRYS CHAPEL RD	036	01000
1225 HIDDEN VALLEY RD	027	05501
420 KINNIE RD	026	01700
3127 BRAINTREE RD	037	01801
3126 BRAINTREE RD	037	01803
2193 N BERRYS CHAPEL RD	037	02800

2201 N BERRYS CHAPEL RD	037	02700
2064 HILLSBORO RD	037	00301
HIDDEN VALLEY RD	036	00102
3038 SMITH LN	036	01302
2017 LYNNWOOD DR	052	09102
2820 SAWYER BEND RD	014	04406
610 BEECH CREEK RD S	027	04200
2735 SAWYER BEND RD	014	04403
1440 MENTELLE DR	038	01305
2013 LYNNWOOD DR	052	09101
1712 A BERRYS CHAPEL RD	038	01401
2328 N BERRYS CHAPEL RD	036	00401
N BERRYS CHAPEL RD	036	01206
2400 HIDDEN RIVER LN	026	03234
HILLSBORO RD	037	00403
S BERRYS CHAPEL RD	052	09100
539 TRACE CREEK DR	006	00103
2854 SAWYER BEND RD	006	02702
STEEPLECH ASE LN	006	02903
SMITH LN	036	01312
2864 SAWYER BEND RD	006	02703
S BERRYS CHAPEL RD	037	03500
2126 S BERRYS CHAPEL RD	037	03503
2354 N BERRYS CHAPEL RD	036	01600
535 TRACE CREEK DR	006	00102
STEEPLECH ASE LN	006	02900
2100 S BERRYS CHAPEL RD	037	03400
5536 LYNNWOOD WAY	036	01502
2360 N BERRYS CHAPEL RD	036	01700
1777 -A BERRYS CHAPEL RD	037	00500
2363 N BERRYS CHAPEL RD	036	00408
2341 N BERRYS CHAPEL RD	036	00409
2355 N BERRYS CHAPEL RD	036	00407
2383 N BERRYS CHAPEL RD	036	00101
2379 N BERRYS CHAPEL RD	036	00200
N BERRYS CHAPEL RD	036	00300
HILLSBORO RD	013	00500

2711 HILLSBORO RD	013	01500
2675 HILLSBORO RD	013	00508
2359 N BERRYS CHAPEL RD	036	00406
2365 N BERRYS CHAPEL RD	036	00404
2701 VAUGHN RD	014	04500
2701 HILLSBORO RD	013	01300
2705 HILLSBORO RD	013	01400
2713 HILLSBORO RD	013	02401
HILLSBORO RD	013	00903
2036 LYNNWOOD DR	036	01308
2525 HILLSBORO RD	013	00600
1492 SNEED RD W	013	00513
615 BEECH CREEK RD S	027	04000
6740 MANLEY LN	027	03800
SNEED RD W	013	00514
2694 HILLSBORO RD	013	01000
1462 SNEED RD W	013	00510
1486 SNEED RD W	013	00512
2521 HILLSBORO RD	013	00501
6630 MANLEY LN	027	03900
2698 HILLSBORO RD	013	01100
1480 SNEED RD W	013	00511
1294 OLD HILLSBORO RD	027	00301
1300 OLD HILLSBORO RD	027	00200
2483 HIDDEN RIVER LN	026	03224
2600 HILLSBORO RD	013	00900
6003 ASBERRY CT	006	01000
6001 ASBERRY CT	006	01100
N BERRYS CHAPEL RD		
8008 EAST CHASE CT	005M B	00400
1708 BERRYS CHAPEL RD	038	01304
5971 ASBERRY CT	006	01500
2219 N BERRYS CHAPEL RD	037	02500
6007 ASBERRY CT	006	00901
2300 N BERRYS CHAPEL RD	036	01200
885 SNEED RD W	014	07001
2535 OLD NATCHEZ TR	014	07100

LYNNWOOD WAY 5550-5552	036	01505
2876 SAWYER BEND RD	006	02501
2881 SAWYER BEND RD	006	02400
2318 N BERRYS CHAPEL RD	036	01205
S BERRYS CHAPEL RD	037	03601
1463 SNEED RD W	013	00505
534 TRACE CREEK DR	006	00100
8000 EAST CHASE CT	005M B	00300
5933 -45 ASBERRY CT	006	01800
HARTLAND RD	037	01807
6615 MANLEY LN	027	06701
ASBERRY CT	006	01801
816 SNEED RD W	014	01400
SAWYER BEND RD	014	04200
1324 OLD HILLSBORO RD	026	03101
2528 OLD NATCHEZ TR	014	06001
2540 OLD NATCHEZ TRACE RD	014	06003
2933 HILLSBORO RD	013	02400
5828 CHASE VIEW RD	005M B	00200
5804 TEMPLEGAT E DR	006I B	00100
5808 TEMPLEGAT E DR	006I B	00200
5925 ASBERRY CT	006	02000
1290 HUNTERS TRAIL DR	006	02102
1439 MENTELLE DR	038	01306
1710 BERRYS CHAPEL RD	038	01301
2542 OLD NATCHEZ TRACE RD	014	06002
2142 S BERRYS CHAPEL RD	037	03603
2536 OLD NATCHEZ TR	014	06000
2403 HIDDEN RIVER LN	026	03206
733 SNEED RD W	014	09200
735 SNEED RD W	014	09201
543 TRACE CREEK DR	006	00101
1453 SNEED RD W	013	00515
1447 SNEED RD W	013	00506
542 TRACE CREEK DR	006	00104
702 SNEED RD W	015	03402
698 SNEED RD W	015	03400
251 GEN J B HOOD DR	027	03000
1443 SNEED RD W	013	00509
SNEED RD W	015	00403

525 SNEED RD W	015 00403
SNEED RD W	014 09202
414 LAKE VALLEY DR	037 01805
2809 HILLSBORO RD	013 02300
HILLSBORO RD	013 01600
2201 BERRYS CHAPEL RD	N 037 02700
2185 BERRYS CHAPEL RD	N 037 02900
2225 BERRYS CHAPEL RD	N 037 02202
3011 HARTLAND LN	037 02101
N BERRYS CHAPEL RD	037 02604
2209 BERRYS CHAPEL RD	N 037 02600
HILLSBORO RD	007 00802
2781 HILLSBORO RD	013 02100
1235 HIDDEN VALLEY RD	036 00100
2213 BERRYS CHAPEL RD	N 037 02603
HILLSBORO RD	013 06901
HILLSBORO RD	013 06902
SNEED RD W	013 00508
5559 LYNNWOOD WAY	036 01506
LYNNWOOD WAY	036 01500
2765 HILLSBORO RD	013 01700
2995 HILLSBORO RD	007 00800
2789 HILLSBORO RD	013 01900
1288 OLD HILLSBORO RD	027 01700
LYNNWOOD WAY	036 01500
HILLSBORO RD	013 02001
2771 HILLSBORO RD	013 01901
2777 HILLSBORO RD	013 02000
LYNNWOOD WAY 5510-5522	036 01400
OLD HILLSBORO RD	027 00300
HILLSBORO RD	013 01903
2775 HILLSBORO RD	013 01902
LYNNWOOD WAY 5510-5522	036 01400
1505 RECREATION RD	027 00402
1292 OLD HILLSBORO RD	027 00300
1393 OLD HILLSBORO RD	026 03400
2288 BERRYS CHAPEL RD	N 036 01201

HARTLAND RD	037 01900
N BERRYS CHAPEL RD	037 02000
2221 BERRYS CHAPEL RD	N 037 02201
3035 HARTLAND PVT LN	037 02103
2223 BERRYS CHAPEL RD	N 037 02200
3023 HARTLAND PVT LN	037 02100
6211 TEMPLE RD	015 03800
3017 HARTLAND PVT LN	037 02102
6207 TEMPLE RD	015 03801
ASBERRY DR	006 02100
N BERRYS CHAPEL RD	037 03701
LYNNWOOD WAY 5510-5522	036 01400
2212 BERRYS CHAPEL RD	N 037 03502
2238 BERRYS CHAPEL RD	N 037 03700
739 SNEED RD W	014 09500

RD-5

ADDRESS,C, 64	GISLIN K,C,26
2003 OLD HILLSBORO RD	065 04101
1645 OLD HILLSBORO RD	038 02405
1985 OLD HILLSBORO RD	065 04104
OLD HILLSBORO RD	065 04109
7435 LES HUGHES RD	041 02500
NEW HWY 96 W	065 05500
KINNARD SPRINGS RD	119 01001
1947 OLD HILLSBORO RD	065 05500
7456 SLEEPY HOLLOW RD	069 10700
3255 KINNARD SPRINGS RD	104 04040
3275 KINNARD SPRINGS RD	119 01000
7630 SLEEPY SUMMIT LN	069 12308
2506 OLD CHARLOTTE PK	064 00102
3022 CARTERS CREEK PK	104 04500
1721 OLD HILLSBORO RD	051 01015
KINNARD SPRINGS RD	120 00918
3290 BLAZER RD	076 05901
1760 OLD HILLSBORO RD	050 01623
OLD NASHVILLE RD	042 08201

3721 NEW HWY 96 W	050 01608
1933 OLD HILLSBORO RD	065 05507
7451 SLEEPY HOLLOW RD	069 10500
1960 OLD HILLSBORO RD	065 03700
1623 LEWISBURG PK	133 00902
7342 TAYLOR RD	042 07705
COLEMAN RD	104 03902
7310 MAMIE LN	072 05100
7105 CARTER RD	041 02000
7354 DEER RIDGE RD	072 05004
3206 BAKER LN	104 04029
3285 BLAZER RD	076 06306
1501 COLEMAN RD	104 02800
LIBERTY RD	069 13102
3170 MCMILLAN RD	076 06301
1300 KITTRELL RD	104 02101
7506 SLEEPY HOLLOW RD	068 03602
3726 OLD CHARLOTTE PK	050 01612
KITTRELL RD	104 02302
3350 BLAZER RD	076 05202
7782 CANEY FORK RD	069 15600
2708 BUCKNER RD	154 06400
7715 FERNVALE RD	047 10507
3727 OLD CHARLOTTE PK	050 01614
1515 COLEMAN RD	-17 104 03100
3304 RUNNING SPRINGS CT	104 04035
7477 SLEEPY HOLLOW RD	069 12500
7252 DEER RIDGE RD	069 08800
7650 SLEEPY SUMMIT LN	069 12306
7265 DEER RIDGE RD	069 13700
7150 CARTER RD	042 09400
7319 HENRY RD	069 11200
OLD HARDING RD	023 06800
7310 LIBERTY RD	069 10601
3340 BLAZER RD	076 05203
7621 FERNVALE RD	047 10200
3295 BLAZER RD	076 06304
HENPECK LN	105 00400
1930 OLD HILLSBORO RD	065 05502

1355 KITTRELL RD	104 02303
3239 BOYD MILL PK	065 05100
1319 KING LN	104 03700
7260 DEER RIDGE RD	069 13100
3715 NEW HWY 96 W	050 01606
7380 DEER RIDGE RD	072 05001
7420 SLEEPY HOLLOW LN	069 12304
3305 RUNNING SPRINGS CT	104 04038
CANEY FORK RD	072 04603
7725 CANEY FORK RD	072 04800
3246 KINNARD SPRINGS RD	104 04000
7264 DEER RIDGE RD	069 13400
LIBERTY RD	069 13103
7716 CANEY FORK RD	069 13200
1509 COLEMAN RD	-11 104 03000
2498 OLD CHARLOTTE PK	064 00105
7236 DEER RIDGE RD	069 09102
KITTRELL RD	104 02305
3100 BOXLEY VIEW LN	076 06502
7225 DEER RIDGE RD	069 09001
7466 SLEEPY HOLLOW RD	069 12200
1545 OLD HILLSBORO RD	038 02001
7296 DEER RIDGE RD	069 13601
BLAZER RD	076 06309
7310 HUNTING CAMP RD	042 08801
COLEMAN RD	104 01807
7363 DEER RIDGE RD	072 05005
7370 DEER RIDGE RD	072 05000
7323 LIBERTY RD	069 13000
1331 KITTRELL RD	104 01305
1492 COLEMAN RD	104 00800
7380 TAYLOR RD	041 03700
1574 COLEMAN RD	104 00100
3273 BLAZER RD	076 06300
7376 TAYLOR RD	041 03603
7473 LIBERTY RD	070 01604
3710 NEW HWY 96 W	050 01624
3215 BOYD MILL PK	065 04700
7324 LIBERTY RD	069 12900
1493 COLEMAN RD	104 03903
7330 TAYLOR RD	042 07706

7312 LIBERTY RD	069 10603
7316 LIBERTY RD	069 10602
3703 OLD CHARLOTTE PK	050 01618
1944 OLD HILLSBORO RD	065 05504
7481 LIBERTY RD	070 01613
LIBERTY RD	070 01611
3789 NEW HWY 96 W	050 01807
7301 HENRY RD	069 11800
7780 CANEY FORK RD	072 04501
7360 LIBERTY RD	069 08700
7477 LIBERTY RD	070 01612
1954 OLD HILLSBORO RD	065 03800
7334 -36 LIBERTY RD	069 13101
3325 BLAZER HILL LN	077 03807
1325 KITTRELL RD	104 01304
OLD HILLSBORO RD	051 01017
3209 BAKER LN	104 04020
2614 OLD CHARLOTTE PK	064 00106
7325 DEER RIDGE RD	069 13602
DEER RIDGE RD	072 05012
7309 HUNTING CAMP RD	042 08900
7480 SLEEPY HOLLOW RD	069 12400
3713 NEW HWY 96 W	050 01605
1338 COLEMAN RD	105 00504
1938 OLD HILLSBORO RD	065 05503
3000 CARTERS CREEK PK	091 15401
7352 TAYLOR RD	041 01604
7262 DEER RIDGE RD	069 13405
7364 TAYLOR RD	041 03602
1394 KITTRELL RD	104 02206
7305 HENRY RD	069 11700
2093 CARTERS CREEK PK	091 15000
1925 OLD HILLSBORO RD	065 05508
3715 OLD CHARLOTTE PK	050 01620
3700 NEW HWY 96 W	050 01626
3212 BAKER LN	104 04028
7313 TAYLOR RD	042 07704
3231 BOYD MILL PK	065 05000
7374 DEER RIDGE RD	072 05002
7359 DEER RIDGE RD	072 04300

3309 RUNNING SPRINGS CT	104 04037
3201 BOYD MILL PK	065 04400
7156 CARTER RD	042 09501
DEER RIDGE RD	072 05006
CARTERS CREEK PIKE	091 15400
7334 SOUTHERN RD	069 08601
7460 SLEEPY HOLLOW RD	069 12100
3291 BLAZER RD	076 06305
7311 HENRY RD	069 11500
7272 DEER RIDGE RD	069 13402
1738 OLD HILLSBORO RD	050 01622
7216 DEER RIDGE RD	069 09100
1577 OLD HILLSBORO RD	038 02005
3300 RUNNING SPRINGS CT	104 04034
3104 BOXLEY VIEW LN	076 06503
OLD HILLSBORO RD	051 01007
7448 SLEEPY HOLLOW RD	069 10900
DEER RIDGE RD	072 05013
1441 COLEMAN RD	104 02400
2097 CARTERS CREEK PK	091 15100
7319 HUNTING CAMP RD	042 09100
1375 KITTRELL RD	104 02300
7367 TAYLOR RD	041 01901
1586 COLEMAN RD	104 04300
7741 CANEY FORK RD	072 04701
7340 TAYLOR RD	042 07702
3277 BLAZER RD	078 06311
7366 TAYLOR RD	041 03601
7473 SLEEPY HOLLOW RD	069 12600
OLD CHARLOTTE PK	064 00113
7510 SLEEPY HOLLOW RD	068 03607
7330 SOUTHERN RD	069 08600
7303 COLDWATE R RD	068 04401
3101 BOXLEY VIEW LN	076 06510
1323 KING LN	104 03800
3259 BLAZER RD	076 06308
3352 BLAZER RD	076 05201
3287 BLAZER RD	076 06307

2465 OLD CHARLOTTE PK	064 00107
3233 BAKER LN	104 04022
7315 COLDWATE R RD	068 04407
3018 CARTERS CREEK PK	104 04600
2627 OLD CHARLOTTE PK	064 00101
7356 TAYLOR RD	041 01602
3284 BLAZER RD	076 06000
7620 SLEEPY SUMMIT LN	069 12309
2441 OLD CHARLOTTE PK	064 00201
COLEMAN RD	104 00500
2441 OLD CHARLOTTE PK	064 00201
1404 COLEMAN RD	104 01806
1584 COLEMAN RD	104 04401
KING LN	104 03601
1984 OLD HILLSBORO RD	065 03600
7317 HUNTING CAMP RD	042 09001
7306 LIBERTY RD	069 12700
2639 OLD CHARLOTTE PK	051 00802
2631 OLD CHARLOTTE PK	064 00109
2090 CARTERS CREEK PK	091 15500
2088 CARTERS CREEK PK	091 15600
BOYD MILL PK	065 04500
7355 HUNTING CAMP RD	042 09802
7114 COOPER LN	041 01501
1503 COLEMAN RD	104 02801
2630 OLD CHARLOTTE PK	064 00108
1519 COLEMAN RD	104 03200
3005 CARTERS CREEK PK	091 15200
1596 COLEMAN RD	104 04100
OLD HILLSBORO RD	065 04108
1687 OLD HILLSBORO RD	051 01105
3221 BAKER LN	104 04021
7743 CANEY FORK RD	072 04702
7325 COLDWATE R RD	073 00801
7258 DEER RIDGE RD	069 13104
1711 OLD HILLSBORO RD	051 01013

7360 TAYLOR RD	041 01701
BLAZER RD	076 06100
3719 NEW HWY 96 W	050 01607
7351 DEER RIDGE RD	072 04301
7250 DEER RIDGE RD	069 08900
7640 SLEEPY SUMMIT LN	069 12307
7345 HUNTING CAMP RD	042 09806
7323 HENRY RD	069 11100
3704 NEW HWY 96 W	050 01625
3308 RUNNING SPRINGS CT	104 04036
1365 KITTRELL RD	104 02304
3009 CARTERS CREEK PK	104 04900
1315 KING LN	104 03600
7449 LES HUGHES RD	048 00301
COLEMAN RD	104 03905
7341 HUNTING CAMP RD	042 09800
3205 BAKER LN	104 04019
7790 CANEY FORK RD	072 04400
1582 COLEMAN RD	104 04400
2636 OLD CHARLOTTE PK	051 00804
3308 BLAZER RD	076 05800
7617 FERNVALE RD	047 10300
7386 TAYLOR RD	041 03800
7341 SOUTHERN RD	069 08400
3726 NEW HWY 96 W	050 01619
HENRY RD	069 11401
7268 DEER RIDGE RD	069 13404
3301 RUNNING SPRINGS CT	104 04039
7320 MAMIE LN	072 05007
7331 DEER RIDGE RD	069 13600
OLD HILLSBORO RD	051 01005
1478 COLEMAN RD	104 01205
7410 SLEEPY HOLLOW LN	069 12303
2613 OLD CHARLOTTE PK	064 00111
3014 CARTERS CREEK PK	104 04700
SLEEPY HOLLOW RD	069 12300
7304 HUNTING CAMP RD	042 08800
3714 NEW HWY 96 W	050 01621
1587 OLD HILLSBORO RD	038 02100

1416 COLEMAN RD	104 01600
1505 COLEMAN RD	104 02900
3705 NEW HWY 96 W	050 01604
7430 SLEEPY HOLLOW LN	069 12305
7469 SLEEPY HOLLOW RD	069 10600
COLEMAN RD	105 00303
7368 DEER RIDGE RD	072 05011
COLEMAN RD	104 00202
OLD HILLSBORO RD	051 01011
OLD CHARLOTTE PK	064 00202
RUNNING SPRINGS CT	104 04044
7710 CANEY FORK RD	068 04301
DEER RIDGE RD	072 05003
1776 OLD HILLSBORO RD	050 01616
7452 SLEEPY HOLLOW RD	069 10800
2096 CARTERS CREEK PK	091 14800
HUNTING CAMP RD	042 09807
7344 HUNTING CAMP RD	042 09801
BLAZER RD	077 03809
1945 OLD HILLSBORO RD	065 05506
3242 KINNARD SPRINGS RD	104 04017
2465 OLD CHARLOTTE PK	064 00107
7375 TAYLOR RD	041 03401
7683 CANEY FORK RD	068 04300
1560 OLD COLEMAN RD	104 00200
1482 COLEMAN RD	104 01000
7677 CANEY FORK RD	068 04302
7710 CANEY FORK RD	068 04301
3305 BOYD MILL PK	076 02700
OLD CHARLOTTE PK	064 00200
3313 BOYD MILL PK	076 02900
3309 BOYD MILL PK	076 02800
3303 BOYD MILL PK	065 05400
OLD CHARLOTTE PK	064 00104
COLEMAN RD	105 00300
7470 LIBERTY RD	069 07700
1772 OLD HILLSBORO RD	050 01627
1488 COLEMAN RD	104 00900
1770 OLD HILLSBORO RD	050 01613

1447 COLEMAN RD	104 02500
1709 OLD HILLSBORO RD	051 01001
1430 COLEMAN RD	104 01401
1440 COLEMAN RD	104 01301
1454 COLEMAN RD	104 01308
1436 COLEMAN RD	104 01400
COLEMAN RD	104 01902
1342 COLEMAN RD	105 00503
1406 COLEMAN RD	104 01800
1435 COLEMAN RD	104 02100
1476 COLEMAN RD	104 01203
OLD CHARLOTTE PK	064 00104
3105 BOXLEY VIEW LN	076 06509
OLD HILLSBORO RD	050 01615
1400 COLEMAN RD	104 01803
1402 COLEMAN RD	104 01805
COLEMAN RD	104 01804
1412 COLEMAN RD	104 01700
101 BECKY PVT LN	050 01811
111 BECKY PVT LN	050 01800
2001 OLD HILLSBORO RD	065 04103
3759 NEW HWY 96 W	050 01808
7310 MAMIE LN	072 05100
3739 NEW HWY 96 W	050 01809
7683 CANEY FORK RD	068 04300
1427 COLEMAN RD	104 02000
7440 SLEEPY HOLLOW LN	068 03601
3010 CARTERS CREEK PK	104 04800
7372 DEER RIDGE RD	072 05008
COLEMAN RD	104 01307
1996 OLD HILLSBORO RD	065 03500
7235 DEER RIDGE RD	069 09000
2630 OLD CHARLOTTE PK	064 00108
OLD CHARLOTTE PK	064 00302
2411 OLD CHARLOTTE PK	064 00301
1929 OLD HILLSBORO RD	065 05509

104 BECKY PVT LN	050 01812
3201 BAKER LN	104 04018
3243 KINNARD SPRINGS RD	104 04033
3239 KINNARD SPRINGS RD	104 04032
3234 KINNARD SPRINGS RD	104 04030
7503 FERVALE RD	042 10100
7307 HUNTING CAMP RD	042 10001
3247 KINNARD SPRINGS RD	104 04042
3710 PISHON TRL	050 01915
3706 PISHON TRL	050 01914
3700 PISHON TRL	050 01900
7315 GABRIEL LN (PVT)	042 10002
7331 HUNTING CAMP RD	042 09900
2736 MCLEMORE RD	132 01105
HUNTING CAMP RD	042 09200
7350 SOUTHERN RD	069 08500
2740 MCLEMORE RD	132 01103
SLEEPY HOLLOW RD	069 12803
1352 COLEMAN RD	105 00202
COLEMAN RD	105 00302
COLEMAN RD	105 00301
1348 COLEMAN RD	105 00201
1344 COLEMAN RD	105 00200
3815 NEW HWY 96 W	050 01907
3701 PISHON TRL	050 01912
1920 OLD HILLSBORO RD	065 05501
SOUTHERN RD	069 06603
7270 DEER RIDGE RD	069 13401
2457 TOM ANDERSON RD	132 00707
2500 TOM ANDERSON RD	132 03708
2480 T J PASS	132 03703
1642 LEWISBURG PK	132 02101
2743 MCLEMORE RD	132 03704
2469 TOM ANDERSON RD	132 00712
2491 TOM ANDERSON RD	132 00705
2495 TOM ANDERSON RD	132 00704
2501 TOM ANDERSON RD	132 00710

2499 TOM ANDERSON RD	132 00703
2497 TOM ANDERSON RD	132 03800
2590 TOM ANDERSON RD	132 03100
2483 TOM ANDERSON RD	132 00708
2596 TOM ANDERSON RD	132 03000
2487 TOM ANDERSON RD	132 00706
TOM ANDERSON RD	132 00714
2750 MCLEMORE RD	132 01700
7487 SLEEPY HOLLOW RD	069 12302
LES HUGHES RD	041 04300
1718 OLD HILLSBORO RD	051 00600
MCLEMORE RD	132 03705
2726 MCLEMORE RD	132 01104
2505 TOM ANDERSON RD	132 00701
2722 MCLEMORE RD	132 01100
2584 TOM ANDERSON RD	132 03200
7494 SLEEPY HOLLOW RD	068 03604
7498 SLEEPY HOLLOW RD	068 03600
7404 LES HUGHES RD	041 04303
1722 OLD HILLSBORO RD	051 00700
DEER RIDGE RD	069 09101
7411 LES HUGHES RD	041 03101
7396 LES HUGHES RD	041 04301
LES HUGHES RD	041 03200
7424 LES HUGHES RD	041 02900
7441 LES HUGHES RD	041 02600
7402 LES HUGHES RD	041 04302
7421 LES HUGHES RD	041 03100
7428 LES HUGHES RD	041 02701
1340 COLEMAN RD	105 00502
7490 SLEEPY HOLLOW RD	069 12301
7397 LES HUGHES RD	041 03301
1697 OLD HILLSBORO RD	051 01003
7425 LES HUGHES RD	041 03001
LES HUGHES RD	041 04304
OLD NASHVILLE RD	042 08300
1481 COLEMAN RD	104 02700

1459 COLEMAN RD	104 02306
COLEMAN RD	104 01801
COLEMAN RD	105 00304
COLEMAN RD	104 02301
3109 BOXLEY VIEW LN	076 06511
1800 W HARPETH RD	120 00906
1902 W HARPETH RD	120 00915
3705 PISHON TRL	050 01916
KITTRELL RD	104 02200
3807 NEW HWY 96 W	050 01910
1463 COLEMAN RD	104 02600
1311 KING LN	104 03500
3251 KINNARD SPRINGS RD	104 04041
1380 COLEMAN RD	105 00101
1910 W HARPETH RD	120 00909
1527 COLEMAN RD	104 03400
2730 MCLEMORE RD	132 01101
2640 OLD CHARLOTTE PK	051 00805
BLAZER RD	076 05200
2734 MCLEMORE RD	132 01102
OLD COLEMAN RD	104 00203
2637 OLD CHARLOTTE PK	051 00806
2635 OLD CHARLOTTE PK	064 00110
7705 FERNVALE RD	047 10400
1733 OLD HILLSBORO RD	051 00800
MCLEMORE RD	132 01106
1523 COLEMAN RD	104 03300
3207 BOYD MILL PK	065 04600
1560 OLD COLEMAN RD	104 00200
1955 OLD HILLSBORO RD	065 03902
2742 MCLEMORE RD	132 01702
2744 MCLEMORE RD	132 01701
OLD CHARLOTTE PK	064 00200
2733 MCLEMORE RD	132 03706
3722 NEW HWY 96 W	050 01617
2465 TOM ANDERSON RD	132 00711

7377 TAYLOR RD	041 03400
7500 SLEEPY HOLLOW RD	068 03606
5028 CARTERS CREEK PK	120 00908
7391 LES HUGHES RD	041 03302
5023 CARTERS CREEK PK	120 00803
1590 COLEMAN RD	104 04200
3006 CARTERS CREEK PK	091 15300
2610 OLD CHARLOTTE PK	064 00100
5020 CARTERS CREEK PK	120 00904
1914 W HARPETH RD	120 00905
5043 CARTERS CREEK PK	120 00801
7118 CARTER RD	041 03300
2643 OLD CHARLOTTE PK	051 00801
1622 LEWISBURG PK	132 02100
2745 MCLEMORE RD	132 03702
OLD CHARLOTTE PK	064 00300
5016 CARTERS CREEK PK	120 00903
7470 LIBERTY RD	069 07700
2405 OLD CHARLOTTE PK	064 00303
CARTERS CREEK PIKE	120 00902
3833 NEW HWY 96 W	050 02000
1979 OLD HILLSBORO RD	065 03901
1949 OLD HILLSBORO RD	065 03900
2014 OLD HILLSBORO RD	065 03400
BLAZER RD	076 05000
3235 BOYD MILL PK	065 04900
7327 HUNTING CAMP RD	042 09202
BOYD MILL PK	065 04302
1683 OLD HILLSBORO RD	051 01104
3108 BOXLEY VIEW LN	076 06512
HUNTING CAMP RD	042 10003
7107 CARTER RD	041 02100
3274 BLAZER RD	076 06500
7350 TAYLOR RD	041 01600
CANEY FORK RD	072 04602
7370 TAYLOR RD	041 03604
3259 BOYD MILL PK	065 05200
3225 BOYD MILL PK	065 04800

7363 TAYLOR RD	041 01900
7111 CARTER RD	041 02203
3299 BOYD MILL PK	065 05300
BOYD MILL PK	065 04303
7286 DEER RIDGE RD	069 13500
7133 CARTER RD	041 02202
3299 BLAZER RD	076 06303
1452 COLEMAN RD	104 01306
7144 CARTER RD	041 02400
TWO RIVERS LN	051 01204
4232 TWO RIVERS LN	051 01019
1442 COLEMAN RD	104 01309
TOM ANDERSON RD	132 03709
1450 COLEMAN RD	104 01300
1444 COLEMAN RD	104 01303
1401 COLEMAN RD	104 01901
2450 T J PASS	132 03701
7143 CARTER RD	042 09401
TWO RIVERS LN	051 01215
1464 COLEMAN RD	104 01204
2552 TOM ANDERSON RD	132 03603
2558 TOM ANDERSON RD	132 03602
1460 COLEMAN RD	104 01202
2560 TOM ANDERSON RD	132 03601
7137 CARTER RD	041 02201
1468 COLEMAN RD	104 01200
1707 OLD HILLSBORO RD	051 01008
7305 HUNTING CAMP RD	042 10000
2488 TOM ANDERSON RD	132 03700
1516 COLEMAN RD	104 00400
1508 COLEMAN RD	104 00401
1399 COLEMAN RD	104 01900
2556 TOM ANDERSON RD	132 03600
2578 TOM ANDERSON RD	132 03300
2570 TOM ANDERSON RD	132 03401
3270 BLAZER RD	076 06501
3113 BOXLEY VIEW LN	076 06507

1591 OLD HILLSBORO RD	038 02201
7455 LES HUGHES RD	041 02702
7450 LES HUGHES RD	048 00400
LES HUGHES RD	041 02700
OLD HILLSBORO RD	050 01602
7416 LES HUGHES RD	041 02800
3325 BLAZER RD	076 05103
3305 BOYD MILL PK	076 02700
3224 BAKER LN	104 04025
3228 BAKER LN	104 04024
2019 OLD HILLSBORO RD	065 04200
OLD HILLSBORO RD	065 04201
BLAZER RD	076 05200
3309 BOYD MILL PK	076 02800
2011 2015 OLD HILLSBORO RD	065 04100
3246 BOYD MILL PK	065 04300
3246 BOYD MILL PK	065 04300
3313 BOYD MILL PK	076 02900
3299 BOYD MILL PK	065 05300
BOYD MILL PK	065 04301
3246 BOYD MILL PK	065 04300
3710 PERKINS RD	120 00800
3550 GRAY LN	120 00913
OLD HILLSBORO RD	065 04201
OLD HILLSBORO RD	065 04201
BOYD MILL PK	065 04301
2019 OLD HILLSBORO RD	065 04200
2003 OLD HILLSBORO RD	065 04101
1550 COLEMAN RD	104 00201
3395 BLAZER RD	076 03000
BLAZER RD	076 05200
OLD HILLSBORO RD	065 03102
2011 2015 OLD HILLSBORO RD	065 04100
3303 BOYD MILL PK	065 05400
3216 BAKER LN	104 04027
7610 SLEEPY SUMMIT LN	069 12310
OLD HILLSBORO RD	051 01100
3041 CARTERS CREEK PK	104 05000
8006 ROSE RIDGE PVT LN	072 04705

8012 ROSE RIDGE PVT LN	069	15602
8018 ROSE RIDGE PVT LN	069	15603
CANEY FORK RD	069	15601
7720 CANEY FORK RD	069	13300
7736 CANEY FORK RD	072	04703
CANEY FORK RD	069	13202
1673 OLD HILLSBORO RD	051	01109
7786 CANEY FORK RD	072	04600
7318 HUNTING CAMP RD	042	09205
FERNVALE RD	042	08500
COLEMAN RD	104	01904
1405 COLEMAN RD	104	01903
7130 CARTER RD	041	02300
7121 CARTER RD	041	02301
7714 CANEY FORK RD	069	13201
7760 CANEY FORK RD	072	04601
8000 ROSE RIDGE PVT LN	072	04704
OLD HILLSBORO RD	051	01010
7360 DEER RIDGE RD	072	05009
7322 HUNTING CAMP RD	042	09203
7314 HUNTING CAMP RD	042	09204
2634 OLD CHARLOTTE PK	051	00807
7181 CARTER RD	042	09600
7374 HUNTING CAMP RD	042	09700
CARTER RD	042	09602
1713 OLD HILLSBORO RD	051	01009
1336 COLEMAN RD	105	00501
1360 COLEMAN RD	105	00100
OLD CHARLOTTE PK	051	00803
1715 OLD HILLSBORO RD	051	01012
3220 BAKER LN	104	04026
OLD CHARLOTTE PK	064	00202
1500 COLEMAN RD	104	00601
1502 COLEMAN RD	104	00600
1495 COLEMAN RD	104	03900
1345 KING LN	104	03901
1496 COLEMAN RD	104	00700
1506 COLEMAN RD	104	00401

3315 BLAZER HILL LN	077	03804
7118 COOPER LN	041	01500
100 BECKY PVT LN	050	01810
2705 BUCKNER RD	154	06501
4011 BREWER PVT LN	050	01816
7323 HUNTING CAMP RD	042	09206
1485 COLEMAN RD	104	02702
3723 NEW HWY 96 W	050	01609
COLEMAN RD	105	00600
7331 HUNTING CAMP RD	042	09900
1487 COLEMAN RD	104	02701
3727 NEW HWY 96 W	050	01804
4007 BREWER PVT LN	050	01817
COLEMAN RD	105	00500
7325 HUNTING CAMP RD	042	09201
COLEMAN RD	104	01501
2465 OLD CHARLOTTE PK	064	00107
3309 BOYD MILL PK	076	02800
1420 COLEMAN RD	104	01501
3281 BLAZER RD	076	06310
LIBERTY RD	069	07902
1705 LEWISBURG PK	133	01300
7483 SLEEPY HOLLOW RD	069	12801
116 BECKY PVT LN	050	01815
7317 LIBERTY RD	069	12802
3745 NEW HWY 96 W	050	01806
3120 BOXLEY VIEW LN	077	03802
3369 BLAZER RD	076	05104
3339 BLAZER RD	076	05101
7266 DEER RIDGE RD	069	13406
7353 TAYLOR RD	041	01801
7353 TAYLOR RD	041	01800
3381 BLAZER RD	076	05100
3249 BLAZER RD	076	06312
TAYLOR RD	042	07707
7788 CANEY FORK RD	072	04502
7786 CANEY FORK RD	072	04500
7274 DEER RIDGE RD	069	13407
3116 BOXLEY VIEW LN	076	06506
1888 W HARPETH RD	120	01001

1892 W HARPETH RD	120	01000
1884 W HARPETH RD	120	01002
7338 HUNTING CAMP RD	042	09803
BLAZER RD	076	05204
1896 W HARPETH RD	120	00907
1790 JAMESON DR	133	01001
OLD HILLSBORO RD	051	00900
3220 BLAZER RD	077	03806
7457 FERNVALE RD	042	10300
7365 HUNTING CAMP RD	-69	042 09804
1633 LEWISBURG PK	133	00901
7458 LIBERTY RD	069	07800
7331 DEER RIDGE RD	069	13600
7713 FERNVALE RD	047	10510
7711 FERNVALE RD	047	10501
7392 LES HUGHES RD	041	04100
3235 KINNARD SPRINGS RD	104	04031
1456 COLEMAN RD	104	01201
6215 TEMPLE RD	015	03701
2252 N BERRYS CHAPEL RD	037	03800
3034 SMITH LN	037	04800
2048 LYNNWOOD DR	036	01311
2229 N BERRYS CHAPEL RD	037	02203
1450 OLD HILLSBORO RD	038	00502
2044 LYNNWOOD DR	036	01310
600 BEECH CREEK RD S	027	04301
2865 SAWYER BEND RD	006	02601
2419 HIDDEN RIVER LN	026	03208
7080 ASBERRY DR	005	01400
1315 ARCHERS WAY DR	014	04301
2398 N BERRYS CHAPEL RD	036	02203
1454 SNEED RD W	013	00300
2029 LYNNWOOD DR	052	09105
BEECH CREEK RD S	027	04319
OLD HILLSBORO RD	027	00403
2428 N BERRYS CHAPEL RD	028	08300

2033 LYNNWOOD DR	052	09106
KINNIE RD	026	03203
2426 N BERRYS CHAPEL RD	028	08301
OLD HILLSBORO RD	026	03300
3009 SMITH LN	037	04100
HILLSBORO RD	037	01201
1214 BEECH HILL	027	04312
2875 SAWYER BEND RD	006	02600
420 KINNIE RD	026	01900
952 SNEED RD W	014	03700
2422 N BERRYS CHAPEL RD	028	08200
4008 LYNNWOOD CT	053	00502
1276 OLD HILLSBORO RD	027	01400
2459 HIDDEN RIVER LN	026	03219
1208 SNEED RD W	014	05001
5957 ASBERRY CT	006	01700
778 SNEED RD W	014	00400
N BERRYS CHAPEL RD	036	01701
2450 HIDDEN RIVER LN	026	03230
898 CHERRY GROVE RD	014	00100
721 SNEED RD W	014	09300
112 SPENCER CREEK RD	037	01002
896 SNEED RD W	014	01800
5805 TEMPLEGAT E DR	006	0061 B 00300
616 BEECH CREEK RD S	027	04300
1280 OLD HILLSBORO RD	027	01500
5977 ASBERRY CT	006	01501
2731 SAWYER BEND RD	014	04000
1175 MANLEY LN E	027	04500
CHERRY GROVE RD	014	00102
1203 BEECH HILL	027	04307
1714 BERRYS CHAPEL RD	038	01400
2311 N BERRYS CHAPEL RD	036	00500
888 SNEED RD W	014	01700
3026 SMITH LN	037	05000
3033 SMITH LN	037	04700
111 COTTON LN	037	00601
1180 MANLEY LN E	027	04304
4004 LYNNWOOD CT	052	09107

1221 BRADLEY DR	027 03202
5501 LYNNWOOD WAY	036 01204
1600 RIVERLANDING DR	038 01302
1029 MANLEY LNE	027 04303
2156 S BERRYS CHAPEL RD	037 03604
2480 HIDDEN RIVER LN	026 03226
1219 BEECH HILL	027 04318
6239 TEMPLE RD	015 03900
3022 SMITH LN	037 05100
2451 HIDDEN RIVER LN	026 03217
2455 HIDDEN RIVER LN	026 03218
533 SNEED RD W	015 02701
301 KINNIE RD	026 03200
1215 SNEED RD W	014 05400
2410 HIDDEN RIVER LN	026 03233
3030 SMITH LN	037 04900
3029 SMITH LN	037 04600
2400 N BERRYS CHAPEL RD	036 02200
2303 N BERRYS CHAPEL RD	036 00700
3008 SMITH LN	037 05300
2145 S BERRYS CHAPEL RD	052 09804
SNEED RD W	014 05902
SAWYER BEND RD	006 02602
2025 LYNNWOOD DR	052 09104
2456 HIDDEN RIVER LN	026 03229
1476 SNEED RD W	013 00400
SNEED RD W	013 00507
LYNNWOOD DR	052 09108
2020 LYNNWOOD DR	052 09110
2840 SAWYER BEND RD	006 02704
1176 MANLEY LNE	027 04305
1226 BRADLEY DR	027 03205
1183 SNEED RD W	014 05700
2384 N BERRYS CHAPEL RD	036 02100
6097 TEMPLE RD	015 03600
CHERRY GROVE RD	014 00101
1210 BEECH HILL	027 04311
5824 CHASE VIEW RD	005M B 00100
891 SNEED RD W	014 07000
1006 TREATMENT PLANT RD	027 00406
2423 HIDDEN RIVER LN	026 03209

2177 N BERRYS CHAPEL RD	037 03000
SAWYER BEND RD	014 04200
SNEED RD W	014 05903
1216 SNEED RD W	014 05002
1225 BEECH HILL	027 04316
2374 N BERRYS CHAPEL RD	036 01800
2732 SAWYER BEND RD	014 04404
2338 N BERRYS CHAPEL RD	036 00403
3004 SMITH LN	037 05400
1213 BRADLEY DR	027 03201
4012 LYNNWOOD CT	053 00503
1111 MORAN RD	013 00800
2332 N BERRYS CHAPEL RD	036 00402
1475 SNEED RD W	013 00504
1128 BRADLEY DR	027 03208
400 KINNIE RD	026 01701
2175 S BERRYS CHAPEL RD	052 09800
1235 BRADLEY DR	027 03204
6606 MANLEY LN	027 04001
2460 HIDDEN RIVER LN	026 03228
2195 N BERRYS CHAPEL RD	037 02801
2506 OLD NATCHEZ TR	014 06200
ASBERRY CT	006 01802
2032 LYNNWOOD DR	037 05500
2420 HIDDEN RIVER LN	026 03232
2897 SAWYER BEND RD	006 02301
2131 S BERRYS CHAPEL RD	037 03501
3013 SMITH LN	037 04200
1226 BEECH HILL	027 04315
1218 BRADLEY DR	027 03206
1210 BRADLEY DR	027 03207
4016 LYNNWOOD CT	053 00504
2313 N BERRYS CHAPEL RD	036 00501
3025 SMITH LN	037 04500
CHERRY GROVE RD	014 00103
2520 OLD NATCHEZ TR	014 06100
410 COTTON LN	051 02000
711 SNEED RD W	014 09400
414 COTTON LN	051 01900

2157 S BERRYS CHAPEL RD	052 09803
2299 N BERRYS CHAPEL RD	036 00800
2443 HIDDEN RIVER LN	026 03215
2435 HIDDEN RIVER LN	026 03212
3017 SMITH LN	037 04300
124 SPENCER CREEK RD	052 01702
2307 N BERRYS CHAPEL RD	036 00600
1272 OLD HILLSBORO RD	027 01300
SNEED RD W	014 04900
1049 SNEED RD W	014 05801
2021 LYNNWOOD DR	052 09103
2427 HIDDEN RIVER LN	026 03210
1295 HUNTERS TRAIL DR	014 01401
2430 HIDDEN RIVER LN	026 03231
2181 S BERRYS CHAPEL RD	052 09808
2020 HILLSBORO RD	037 00400
6087 TEMPLE RD	015 03300
2028 LYNNWOOD DR	052 09109
2040 LYNNWOOD DR	036 01309
2479 HIDDEN RIVER LN	026 03225
808 SNEED RD W	014 01303
S BERRYS CHAPEL RD	037 03401
397 KINNIE RD	026 01702
110 SPENCER CREEK RD	037 01001
418 COTTON LN	051 01800
320 KINNIE RD	026 03204
410 KINNIE RD	026 01703
1229 SNEED RD W	014 05301
SNEED RD W	014 05500
812 SNEED RD W	014 01300
3021 SMITH LN	037 04400
529 SNEED RD W	015 02700
2139 S BERRYS CHAPEL RD	052 09801
HILLSBORO RD	052 01600
6095 TEMPLE RD	015 03500
1440 SNEED RD W	0131 B 00700
340 KINNIE RD	026 03500
2376 N BERRYS CHAPEL RD	036 01900
1493 SNEED RD W	013 05002
HIDDEN RIVER LN	026 03213
968 SNEED RD W	014 03800

309 KINNIE RD	026 03201
1172 MANLEY LNE	027 04306
2500 OLD NATCHEZ TR	014 06300
1284 OLD HILLSBORO RD	027 01600
3018 SMITH LN	037 05200
840 SNEED RD W	014 01500
1249 SNEED RD W	014 05300
1045 SNEED RD W	014 05901
1827 FARMINGTON DR	037 01800
KINNIE RD	026 01800
HILLSBORO RD	037 00402
2021 OLD S BERRYS CHAPEL RD	037 03301
864 SNEED RD W	014 01701
118 SPENCER CREEK RD	052 01700
2402 N BERRYS CHAPEL RD	036 02202
1487 SNEED RD W	013 00503
2310 N BERRYS CHAPEL RD	036 01207
1222 BEECH HILL	027 04314
2183 S BERRYS CHAPEL RD	052 09806
1223 BEECH HILL	027 04317
2717 SAWYER BEND RD	014 03900
2390 N BERRYS CHAPEL RD	036 02201
2710 HILLSBORO RD	013 01200
115 COTTON LN	037 00600
1250 HUNTERS TRAIL DR	006 02101
848 SNEED RD W	014 01600
MANLEY LN	027 06800
1101 SNEED RD W	014 05800
2447 HIDDEN RIVER LN	026 03216
2179 S BERRYS CHAPEL RD	052 09807
2268 N BERRYS CHAPEL RD	037 03900
2836 SAWYER BEND RD	006 02705
2407 HIDDEN RIVER LN	026 03205
KINNIE RD	026 03202
350 KINNIE RD	026 03501
2407 HIDDEN RIVER LN	026 03205
KINNIE RD	026 03601
2410 N BERRYS CHAPEL RD	028 08100
KINNIE RD	026 03601
1041 SNEED RD W	014 05900

OLD HILLSBORO RD	038 01000
1191 SNEED RD W	014 05600
1275 HUNTERS TRAIL DR	006 02103
HIDDEN RIVER LN	026 03213
700 SNEED RD W	014 00201
115 GARDENGA TE DR	0131 C 07200
1393 OLD HILLSBORO RD	026 03400
1229 BRADLEY DR	027 03203
893 CHERRY GROVE RD	014 00104
CHERRY GROVE RD	014 00106
897 CHERRY GROVE RD	014 00105
391 KINNIE RD	026 03600
2219 BERRYS CHAPEL RD	N 037 02500
350 KINNIE RD	026 03501
1041 SNEED RD W	014 05900
2095 BERRYS CHAPEL RD	S 037 03300
738 SNEED RD W	014 00302
2053 LYNNWOOD DR	036 01305
2376 BERRYS CHAPEL RD	-B N 036 01901
391 KINNIE RD	-393 026 03600
1381 OLD HILLSBORO RD	037 00200
S BERRYS CHAPEL RD	037 03401
S BERRYS CHAPEL RD	037 03401
1439 OLD HILLSBORO RD	038 00700
2439 HIDDEN RIVER LN	026 03214
2284 BERRYS CHAPEL RD	N 036 01203
114 SPENCER CREEK RD	052 01701
2463 HIDDEN RIVER LN	026 03220
2257 BERRYS CHAPEL RD	N 037 02300
2271 BERRYS CHAPEL RD	N 037 02303
1407 OLD HILLSBORO RD	038 01200
326 VAUGHN RD	006M B 00100
2541 OLD NATCHEZ TR	014 06900
HILLSBORO RD	037 00402
2291 BERRYS CHAPEL RD	N 036 00900
2057 HILLSBORO RD	037 01200
370 VAUGHN RD	014 04600
1100 SNEED RD W	014 04800
330 VAUGHN RD	006 03000
320 VAUGHN RD	006 02901

2261 BERRYS CHAPEL RD	N 037 02302
2267 BERRYS CHAPEL RD	N 037 02301
324 VAUGHN RD	006 02902
1212 SNEED RD W	014 05000
VAUGHN RD	014 04701
2337 BERRYS CHAPEL RD	N 036 00400
2331 BERRYS CHAPEL RD	N 036 00405
1186 SNEED RD W	-96 014 04901
360 VAUGHN RD	006 02800
2251 BERRYS CHAPEL RD	N 037 02402
2163 BERRYS CHAPEL RD	S 052 09805
CEDAR KNOB RD	006L B 02900
326 STABLE RD	037 00900
2049 LYNNWOOD DR	036 01306
2045 LYNNWOOD DR	036 01307
2057 LYNNWOOD DR	036 01304
4013 LYNNWOOD CT	053 00505
2277 BERRYS CHAPEL RD	N 037 02304
631 BEECH CREEK RD S	027 04100
VAUGHN RD	014 04700
2304 BERRYS CHAPEL RD	N 036 01209
VAUGHN RD	014 04702
2378 BERRYS CHAPEL RD	N 036 02000
4001 LYNNWOOD CT	053 00507
2061 LYNNWOOD DR	036 01303
1125 BEECHS TAVERN PVT	053 01005
2283 BERRYS CHAPEL RD	N 036 01100
2733 SAWYER BEND RD	014 04100
2891 SAWYER BEND RD	006 02300
2832 SAWYER BEND RD	006 02706
2801 SAWYER BEND RD	014 04300
2095 BERRYS CHAPEL RD	S 037 03300
1439 OLD HILLSBORO RD	038 00700
115 COTTON LN	037 00600
1218 BEECH HILL	027 04313
2809 SAWYER BEND RD	014 04302

2828 SAWYER BEND RD	014 04401
S BERRYS CHAPEL RD	052 09100
S BERRYS CHAPEL RD	037 03401
1202 BEECH HILL	027 04308
1160 MANLEY LN E	027 04309
4009 LYNNWOOD CT	053 00506
732 SNEED RD W	014 00200
736 SNEED RD W	014 00300
1206 BEECH HILL	027 04310
2345 HILLSBORO VALLEY RD	013 02402
HILLSBORO RD	007 00801
2060 HILLSBORO RD	037 00300
1111 BEECHS TAVERN PVT TRL	053 01000
2287 BERRYS CHAPEL RD	N 036 01000
1225 HIDDEN VALLEY RD	027 05501
420 KINNIE RD	026 01700
3127 BRAINTREE RD	037 01801
3126 BRAINTREE RD	037 01803
2193 BERRYS CHAPEL RD	N 037 02800
2201 BERRYS CHAPEL RD	N 037 02700
2064 HILLSBORO RD	037 00301
HIDDEN VALLEY RD	036 00102
3038 SMITH LN	036 01302
2017 LYNNWOOD DR	052 09102
2820 SAWYER BEND RD	014 04406
610 BEECH CREEK RD S	027 04200
2735 SAWYER BEND RD	014 04403
1440 MENTELLE DR	038 01305
2013 LYNNWOOD DR	052 09101
1712 BERRYS CHAPEL RD	A 038 01401
2328 BERRYS CHAPEL RD	N 036 00401
N BERRYS CHAPEL RD	036 01206
2400 HIDDEN RIVER LN	026 03234
HILLSBORO RD	037 00403
S BERRYS CHAPEL RD	052 09100
539 TRACE CREEK DR	006 00103
2854 SAWYER BEND RD	006 02702
STEEPLECH ASE LN	006 02903

SMITH LN	036 01312
2864 SAWYER BEND RD	006 02703
S BERRYS CHAPEL RD	037 03500
2126 BERRYS CHAPEL RD	S 037 03503
2354 BERRYS CHAPEL RD	N 036 01600
535 TRACE CREEK DR	006 00102
STEEPLECH ASE LN	006 02900
2100 BERRYS CHAPEL RD	S 037 03400
5536 LYNNWOOD WAY	036 01502
2360 BERRYS CHAPEL RD	N 036 01700
1777 BERRYS CHAPEL RD	-A 037 00500
2353 BERRYS CHAPEL RD	N 036 00408
2341 BERRYS CHAPEL RD	N 036 00409
2355 BERRYS CHAPEL RD	N 036 00407
2383 BERRYS CHAPEL RD	N 036 00101
2379 BERRYS CHAPEL RD	N 036 00200
N BERRYS CHAPEL RD	036 00300
HILLSBORO RD	013 00500
2711 HILLSBORO RD	013 01500
2675 HILLSBORO RD	013 00508
2359 BERRYS CHAPEL RD	N 036 00406
2365 BERRYS CHAPEL RD	N 036 00404
2701 VAUGHN RD	014 04500
2701 HILLSBORO RD	013 01300
2705 HILLSBORO RD	013 01400
2713 HILLSBORO RD	013 02401
HILLSBORO RD	013 00903
2036 LYNNWOOD DR	036 01308
2525 HILLSBORO RD	013 00600
1492 SNEED RD W	013 00513
615 BEECH CREEK RD S	027 04000
6740 MANLEY LN	027 03800
SNEED RD W	013 00514
2694 HILLSBORO RD	013 01000
1462 SNEED RD W	013 00510
1486 SNEED RD W	013 00512
2521 HILLSBORO RD	013 00501

6630	027
MANLEY LN	03900
2698	013
HILLSBORO	01100
RD	
1480 SNEED	013
RD W	00511
1294 OLD	027
HILLSBORO	00301
RD	
1300 OLD	027
HILLSBORO	00200
RD	
2483 HIDDEN	026
RIVER LN	03224
2600	013
HILLSBORO	00900
RD	
6003	006
ASBERRY	01000
CT	
6001	006
ASBERRY	01100
CT	
N BERRYS	
CHAPEL RD	
8008 EAST	005M B
CHASE CT	00400
1708	038
BERRYS	01304
CHAPEL RD	
5971	006
ASBERRY	01500
CT	
2219 N	037
BERRYS	02500
CHAPEL RD	
6007	006
ASBERRY	00901
CT	
2300 N	036
BERRYS	01200
CHAPEL RD	
885 SNEED	014
RD W	07001
2535 OLD	014
NATCHEZ TR	07100
LYNNWOOD	036
WAY 5550-	01505
5552	
2876	006
SAWYER	02501
BEND RD	
2881	006
SAWYER	02400
BEND RD	
2318 N	036
BERRYS	01205
CHAPEL RD	
S BERRYS	037
CHAPEL RD	03601
1463 SNEED	013
RD W	00505
534 TRACE	006
CREEK DR	00100
8000 EAST	005M B
CHASE CT	00300
5933 -45	006
ASBERRY	01800
CT	
HARTLAND	037
RD	01807

6615	027
MANLEY LN	06701
ASBERRY	006
CT	01801
816 SNEED	014
RD W	01400
SAWYER	014
BEND RD	04200
1324 OLD	026
HILLSBORO	03101
RD	
2528 OLD	014
NATCHEZ TR	06001
2540 OLD	014
NATCHEZ	06003
TRACE RD	
2933	013
HILLSBORO	02400
RD	
5828 CHASE	005M B
VIEW RD	00200
5804	006I B
TEMPLEGAT	00100
E DR	
5808	006I B
TEMPLEGAT	00200
E DR	
5925	006
ASBERRY	02000
CT	
1290	006
HUNTERS	02102
TRAIL DR	
1439	038
MENTELLE	01306
DR	
1710	038
BERRYS	01301
CHAPEL RD	
2542 OLD	014
NATCHEZ	06002
TRACE RD	
2142 S	037
BERRYS	03603
CHAPEL RD	
2536 OLD	014
NATCHEZ TR	06000
2403 HIDDEN	026
RIVER LN	03206
733 SNEED	014
RD W	09200
735 SNEED	014
RD W	09201
543 TRACE	006
CREEK DR	00101
1453 SNEED	013
RD W	00515
1447 SNEED	013
RD W	00506
542 TRACE	006
CREEK DR	00104
702 SNEED	015
RD W	03402
698 SNEED	015
RD W	03400
251 GEN J B	027
HOOD DR	03000
1443 SNEED	013
RD W	00509
SNEED RD W	015
	00403

525 SNEED	015
RD W	00403
SNEED RD W	014
	09202
414 LAKE	037
VALLEY DR	01805
2809	013
HILLSBORO	02300
RD	
HILLSBORO	013
RD	01600
2201 N	037
BERRYS	02700
CHAPEL RD	
2185 N	037
BERRYS	02900
CHAPEL RD	
2225 N	037
BERRYS	02202
CHAPEL RD	
3011	037
HARTLAND	02101
LN	
N BERRYS	037
CHAPEL RD	02604
2209 N	037
BERRYS	02600
CHAPEL RD	
HILLSBORO	007
RD	00802
2781	013
HILLSBORO	02100
RD	
1235 HIDDEN	036
VALLEY RD	00100
2213 N	037
BERRYS	02603
CHAPEL RD	
HILLSBORO	013
RD	06901
HILLSBORO	013
RD	06902
SNEED RD W	013
	00508
5559	036
LYNNWOOD	01506
WAY	
LYNNWOOD	036
WAY	01500
2765	013
HILLSBORO	01700
RD	
2995	007
HILLSBORO	00800
RD	
2769	013
HILLSBORO	01900
RD	
1288 OLD	027
HILLSBORO	01700
RD	
LYNNWOOD	036
WAY	01500
HILLSBORO	013
RD	02001
2771	013
HILLSBORO	01901
RD	
2777	013
HILLSBORO	02000
RD	

LYNNWOOD	036
WAY 5510-	01400
5522	
OLD	027
HILLSBORO	00300
RD	
HILLSBORO	013
RD	01903
2775	013
HILLSBORO	01902
RD	
LYNNWOOD	036
WAY 5510-	01400
5522	
1505	027
RECREATIO	00402
N RD	
1292 OLD	027
HILLSBORO	00300
RD	
1393 OLD	026
HILLSBORO	03400
RD	
2288 N	036
BERRYS	01201
CHAPEL RD	
HARTLAND	037
RD	01900
N BERRYS	037
CHAPEL RD	02000
2221 N	037
BERRYS	02201
CHAPEL RD	
3035	037
HARTLAND	02103
PVT LN	
2223 N	037
BERRYS	02200
CHAPEL RD	
3023	037
HARTLAND	02100
PVT LN	
6211	015
TEMPLE RD	03800
3017	037
HARTLAND	02102
PVT LN	
6207	015
TEMPLE RD	03801
ASBERRY	006
DR	02100
N BERRYS	037
CHAPEL RD	03701
LYNNWOOD	036
WAY 5510-	01400
5522	
2212 N	037
BERRYS	03502
CHAPEL RD	
2238 N	037
BERRYS	03700
CHAPEL RD	
739 SNEED	014
RD W	09500

ITEM 37

AMENDMENT TO ARTICLE 4 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING TRANSITIONAL RULES FOR AMENDMENTS

Attachment	37-1	Proposed Text Amendment
	37-2	Resolution

File Number (6-2020-03)

On May 14, 2012, Williamson County adopted the current Zoning Ordinance with an effective date of January 1, 2013. Article 1 of the Zoning Ordinance addresses the status of pending applications that were submitted and complete prior to that January 1, 2013 effective date. Specifically, Section 1.08 addresses when a pending application will proceed under the regulations and standards in effect when submitted and when an application would be subject to the new standards and regulations. Since that time, these same requirements have addressed the effect of an amendment to the Zoning Ordinance on an application that was complete and pending when an amendment to the Zoning Ordinance became effective. It is Staff's and Legal Counsel's opinion that this policy should be clarified in order to ensure there is no room for question.

Attached is the proposed Text Amendment creating a new Section 4.09 in Article 4: Official Zoning Map or Zoning Text Amendments (Attachment 40-1). This new Section 4.09 is entitled Effect of Map and Text Amendment on Pending Applications. This new Section 4.09 essentially mirrors what is in Section 1.08 and continues the policies that have been applied since May 14, 2012, but clarifies those same provisions in relation to amendments. So long as an application is complete prior to the effective date of an amendment to the Zoning Ordinance or Official Zoning Map, then that development will proceed pursuant to the standards and regulations in effect at the time of its application. The applicant can choose to proceed under the standards and regulations of the proposed Amendment. To the extent that the development does not comply with the new provisions of the Ordinance, that development would be permitted but considered legally non-conforming.

Staff recommends approval of the proposed Text Amendment and that the attached Resolution (See Attachment 40-2) be forwarded to the County Commission for adoption.

Reviewed by: MM
10/8/20

ATTACHMENT 37-1

Proposed Changes to Article 4-Williamson County Zoning Ordinance regarding Transitional Rules.

Add New Section 4.09: Effect of Map and Text Amendments on Pending Applications

Section 4.09: Effect of Map and Text Amendments on Pending Applications

(A) EFFECTIVE DATE

Any amendments to this Ordinance or to the Official Zoning Map following January 1, 2013, shall have an effective date as specified in the Resolution adopting the amendment. If no effective date is specified, then the amendment is effective upon approval by the County Commission.

(B) COMPLETED APPLICATIONS

(1) Any application submitted and accepted as complete before the effective date of an amendment to this Ordinance or the Official Zoning Map, but still pending final action as of that date, shall be reviewed and decided in accordance with the regulations and/or zoning classification in effect when the application was accepted. To the extent such an application is approved and proposes development that does not comply with this Ordinance, the subsequent development, although permitted, shall be nonconforming and subject to the provisions of Article 21: Nonconformities.

(2) Completed applications shall be processed in good faith and shall comply with any time frames for review, approval, and completion of the development as established in the regulations in effect at the time of application acceptance. If the application fails to comply with the required time frames, it shall expire and future development shall be subject to the requirements of this Ordinance.

(3) An applicant with a pending application accepted before the effective date of an amendment to this Ordinance or the Official Zoning Map, may opt to have the proposed development reviewed and decided under the amended standards of this Ordinance by withdrawing the pending application and submitting a new application in accordance with the standards of this Ordinance, as amended.

(C) APPROVED APPLICATIONS

(1) Any development approvals granted before the effective date of an amendment to this Ordinance or the Official Zoning Map, in accordance with the procedures outlined in the previous Ordinance and/or the Williamson County Subdivision Regulations, shall remain valid until their expiration date. Developments with valid approvals or permits may be carried out in accordance with the terms and conditions of their approval and the development standards in effect at the time of approval, provided the permit or approval is valid and has not expired.

- (2) If the prior approval expires or is revoked (i.e., for failure to comply with the terms and conditions of approval), any subsequent development of the site shall comply with the procedures and standards of this Ordinance, with the development standards in effect as of the date the new application is filed.
- (3) To the extent a prior-approved application proposes development that does not comply with this Ordinance, the subsequent development, although permitted, shall be nonconforming and subject to the provisions of Article 21:
Nonconformities.

(D) NONCONFORMITIES

If any use, structure, lot, or sign legally existed on the effective date of this Ordinance, or any relevant amendment thereto, but does not fully comply with the standards of this Ordinance, then that use, structure, lot, or sign shall be considered nonconforming under this Ordinance and shall be subject to the provisions of Article 21:
Nonconformities.

DRAFT

ATTACHMENT 37-2

RESOLUTION NO. _____

Requested by: **Planning Department**

A RESOLUTION TO AMEND ARTICLE 4 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING TRANSITIONAL RULES FOR AMENDMENTS

WHEREAS, on May 14, 2012, the Board of County Commissioners adopted the Update to the Zoning Ordinance ("2013 Zoning Ordinance") and Official Zoning Map, and established an effective date of January 1, 2013; and

WHEREAS, Section 1.08 addresses the Transitional Rules related to the effective date of the 2013 Zoning Ordinance and the application of that effective date to completed and pending applications for developments; and

WHEREAS, Section 1.08 addresses the effective date of the 2013 Zoning Ordinance, and therefore some clarification would be helpful in regard to amendments to the 2013 Zoning Ordinance; and

WHEREAS, Planning staff and legal counsel reviewed the transitional rules in Article 1 as well Article 4 which addresses the Official Zoning Map or Zoning Text Amendments and have determined that the applicability of those sections would be best clarified, especially in light of the proposed changes to the Zoning Ordinance and Official Zoning Map; and

WHEREAS, this proposed amendment will create a new Section in Article 4 that will govern the effect of map and text amendments specifically on pending applications at the time of the effective date of those changes; and

WHEREAS, the proposed amendment provides the same transitional rules as have been followed by Planning staff since the adoption and application of the provisions of the 2013 Zoning Ordinance, which provide that any applications submitted and accepted as complete before the effective date of an amendment to the 2013 Zoning Ordinance or Official Zoning Map shall be reviewed and decided in accordance with the regulations and/or zoning classification in effect when the application is accepted; and

WHEREAS, on October 8, 2020, the Williamson County Regional Planning Commission conducted its official Public Hearing on this amendment, which is attached hereto and incorporated herein; and

WHEREAS, based upon its consideration of all the information provided by Planning staff, the opinion of its legal counsel, public comment and its own Public Hearing, the Williamson County Regional Planning Commission has recommended the adoption of the amendment as presented; and

WHEREAS, the Board of County Commissioners finds and determines that the best interests of Williamson County and its citizens will be served by the adoption of this amendment to the 2013 Zoning Ordinance as recommended by the Regional Planning Commission; and

WHEREAS, due notice has been published and a public hearing has been held as required by the Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners at its regular meeting on this the 9th day of November, 2020, after conducting the public hearing as required by law, hereby adopts the amendment to the 2013 Williamson County Zoning Ordinance, which is attached hereto and incorporated herein as if included verbatim, in accordance with its authority in Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the amendment will be effective and enforced on this the 9th day of November, 2020.

County Commissioner

COMMITTEES REFERRED TO AND ACTION TAKEN:

Regional Planning Commission: For: _____ Against: _____

Commission Action Taken: For: _____ Against: _____ Pass: _____ Out: _____

Elaine Anderson, County Clerk

Tommy Little, Commission Chairman

Rogers C. Anderson, County Mayor

Date

ITEM 38

AMENDMENT TO ARTICLES 10 AND 12 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING REQUIREMENTS FOR CONSERVATION SUBDIVISIONS

Attachment 38-1 Proposed Text Amendment
 38-2 Resolution

File Number (6-2020-4)

Conservation Subdivisions are a residential development type where individual lot sizes can be smaller (i.e. less than 5 acres in a 1 unit per 5 acre zoning district) in exchange for leaving large areas of the site as permanently protected open space. These subdivisions can have a number of benefits, including increased open space and natural resource protection, lower infrastructure and development costs, and enhanced subdivision design opportunities.

The recently adopted Comprehensive Land Use Plan recommends that the Zoning Ordinance regulations for Conservation Subdivisions be updated in order to help accomplish the rural policies in the Plan based upon the proposed reduced rural densities. Specifically, the Plan calls for re-examining and updating as necessary the policies and regulations related to open space design, individual lot sizes, resource protection and the impact of Conservation Subdivisions on surrounding properties.

The proposed Text Amendment (See Attachment 38-1) includes the following additional requirements for Conservation Subdivisions:

1. At least 25% of the open space provided must be land that is not required to be in open space based on the natural resource protection standards in Article 13;
2. No more than 8 lots may be located in a row on the same side of the street without being interrupted by open space;
3. An average lot size of at least $\frac{3}{4}$ of an acre;
4. A minimum lot size of $\frac{1}{4}$ of an acre; and
5. Any lot that is less than $\frac{3}{4}$ acre in size must be located internally where they are entirely surrounded by lots of at least $\frac{3}{4}$ acre in size or in a location where the homes will not be visible from adjacent properties.

This Text Amendment would maintain existing Conservation Subdivision standards, including the recently revised open space strip requirements, which provide significantly enhanced buffers from adjacent properties.

Staff believes that this Text Amendment (See Attachment 38-1) will further the goals and policies of the Comprehensive Plan and will result in better Conservation Subdivision design. Therefore, Staff recommends approval of the Text Amendment and that the attached Resolution (See Attachment 38-2) be forwarded to the County Commission for adoption.

Reviewer: MM
Date: 10/8/2020

ATTACHMENT 38-1

Proposed Changes to Articles 10 and 12-Williamson County Zoning Ordinance regarding Conservation Subdivisions in the Rural Development-5 (RD-5) and Rural Preservation-5 (RP-5) Zoning Districts. Proposed Changes are shown in **Red**.

Amend Table 10.02-2: Dimensional Standards for the Rural Preservation District-5, Minimum Lot Area, Conservation Subdivisions, Residential Structures;

TABLE 10.02-2: DIMENSIONAL STANDARDS FOR THE RURAL PRESERVATION DISTRICT-5			
DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area [1]	Traditional Subdivisions	5 acres	5 acres
	Conservation Subdivisions	1-acre Average Lot Size $\frac{3}{4}$ of an acre	
		Minimum Lot Size $\frac{1}{4}$ of an acre	
Maximum Gross Residential Density	All Subdivisions	1 unit per 5 acres	Not Applicable
Minimum Lot Width	Traditional Subdivisions	200 feet	200 feet
	Conservation Subdivisions	100 feet	
Front Yard Setback	Traditional Subdivisions	100 feet	100 feet
	Conservation Subdivisions	50 feet	
Side Yard Setback	Traditional Subdivisions	25 feet	50 feet
	Conservation Subdivisions	20 feet	
Rear Yard Setback	Traditional Subdivisions	50 feet	50 feet
	Conservation Subdivisions	30 feet	
Maximum Height	All Subdivisions	Not Applicable	Not Applicable

[1] Any lots less than $\frac{3}{4}$ acre in size must be located internally within the development where they are surrounded by lots of at least $\frac{3}{4}$ acre in size or in a location where homes on these lots will not be visible from adjacent properties or roadway rights-of-ways

Amend Table 10.02-3: Dimensional Standards for the Rural Development District-5, Minimum Lot Area, Conservation Subdivisions, Residential Structures:

TABLE 10.02-3: DIMENSIONAL STANDARDS FOR THE RURAL DEVELOPMENT DISTRICT-5			
DIMENSIONAL STANDARDS		RESIDENTIAL STRUCTURES	NONRESIDENTIAL STRUCTURES
Minimum Lot Area [1]	Traditional Subdivisions	5 acres	5 acres
	Conservation Subdivisions	1-acre Average Lot Size $\frac{3}{4}$ of an acre	
		Minimum Lot Size $\frac{1}{4}$ of an acre	
Maximum Gross Residential Density	All Subdivisions	1 unit per 5 acres	Not Applicable
Minimum Lot Width	Traditional Subdivisions	200 feet	200 feet
	Conservation Subdivisions	100 feet	
Front Yard Setback	Traditional Subdivisions	100 feet	100 feet
	Conservation Subdivisions	50 feet	
Side Yard Setback	Traditional Subdivisions	25 feet	50 feet
	Conservation Subdivisions	20 feet	
Rear Yard Setback	Traditional Subdivisions	50 feet	50 feet
	Conservation Subdivisions	30 feet	
Maximum Height	All Subdivisions	Not Applicable	Not Applicable

[1] Any lots less than $\frac{3}{4}$ acre in size must be located internally within the development where they are surrounded by lots of at least $\frac{3}{4}$ acre in size or in a location where homes on these lots will not be visible from adjacent properties or roadway rights-of-ways

Amend Table 10.07-1: Summary Table of Dimensional Standards, Rural Development-5 (RD-5) and Rural Preservation-5 (RP-5), Minimum Lot Area, Conservation Subdivisions

TABLE 10.07-1: SUMMARY OF DIMENSIONAL STANDARDS						
DISTRICT	STRUCTURE TYPE	MINIMUM LOT AREA		MAXIMUM GROSS RESIDENTIAL DENSITY		MAXIMUM HEIGHT
		Traditional Subdivisions	Conservation Subdivisions	Traditional Subdivisions	Conservation Subdivisions	
RP-5	Residential Structures	5 acres	+acre Average Lot Size $\frac{3}{4}$ of an acre [3]	1 unit per 5.0 acres		Not Applicable
			Minimum Lot Size $\frac{1}{4}$ of an acre [3]			
	Nonresidential Structures	5 acres		Not Applicable		Not Applicable
RD-5	Residential Structures	5 acres	+acre Average Lot Size $\frac{3}{4}$ of an acre [3]	1 unit per 5.0 acres		Not Applicable
			Minimum Lot Size $\frac{1}{4}$ of an acre [3]			
	Nonresidential Structures	5 acres		Not Applicable		Not Applicable

NOTES:

[1] Up to 15 percent of the total lots may be reduced to 6,000 square feet in compliance with Section 10.02:(F)(2)c) or Section 10.02:(N)(2)c), as applicable.

[2] See also Section 10.02:(J)(3): Nonresidential Development Contextual Design Standards.

[3] Any lots less than $\frac{3}{4}$ acre in size must be located internally within the development where they are surrounded by lots of at least $\frac{3}{4}$ acre in size or in a location where homes on these lots will not be visible from adjacent properties or roadway rights-of-ways

Amend Article 12, Section 12.04: (E)(1): Amount of Open Space Required

(1) Amount of Open Space Required

The minimum percentage of a development site that must be set aside in permanent open space is established in Article 14: Open Space Set-Aside Standards. See Also, Section 12.04:(E)(5): Additional Standards for Conservation Subdivisions in the Rural Development-5 and Rural Preservation-5 Districts.

Add New Section 12.04: (E)(5): Additional Open Space Standards in the Rural Development-5 (RD-5) and Rural Preservation-5 (RP-5) Districts.

(5) ADDITIONAL OPEN SPACE STANDARDS IN THE RURAL DEVELOPMENT-5 (RD-5) AND RURAL PRESERVATION-5 (RP-5) DISTRICTS

- a) A minimum of 25% of the open space must be located on land that is not required to be protected per Article 13 of the Zoning Ordinance;
- b) In order to more fully integrate open space into Conservation Subdivisions, no more than 8 lots can be consecutively located on the same side of a street without being interrupted by open space. Such open space shall have a minimum width of 250 feet or 3 times the average width of the lots in the sequence, whichever is greater, and shall be connected to the larger open space network (See Figure 12.04-A: Conservation Subdivision Example Layout).

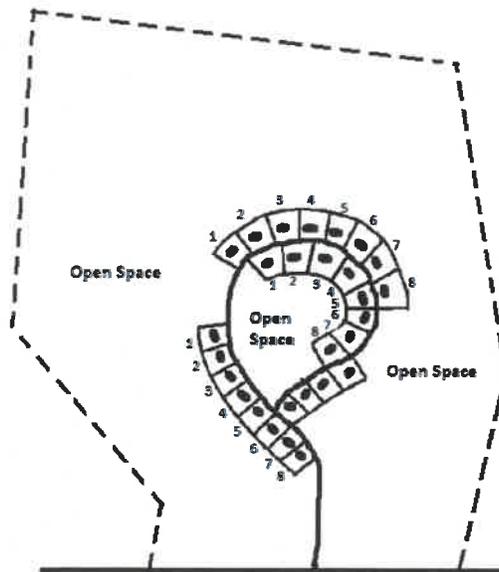


Figure 12.04-A: Conservation Subdivision Example Layout

ATTACHMENT 38-2

RESOLUTION NO. _____

**Requested by: Regional Planning Commission
 Planning Department**

A RESOLUTION TO AMEND ARTICLES 10 AND 12 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING REQUIREMENTS FOR CONSERVATION SUBDIVISIONS

WHEREAS, on May 14, 2012, the Board of County Commissioners adopted the Update to the Zoning Ordinance (“Zoning Ordinance”) and Official Zoning Map, and established an effective date of January 1, 2013; and

WHEREAS, the Zoning Ordinance contains a number of provisions and development standards related to Conservation Subdivisions, which are a type of development that permits single-family residential development with reduced lot area and setback standards, in return for the landowner setting aside a large portion of the site in permanent open space; and

WHEREAS, the use of Conservation Subdivisions can be an effective way to help preserve valued natural resources like woodlands, waterways, wetlands, hilltops, ridgetops and areas of historical and cultural value; and

WHEREAS, the use of Conservation Subdivisions can also be an effective way to protect the health, safety and welfare of the community and future residents of that development by preserving and protecting areas that are best left undeveloped such as floodplain, floodways, steep slopes, slippage soils, sinkholes and other karst features; and

WHEREAS, Williamson County, Tennessee, by and through its Regional Planning Commission, has adopted a revised Comprehensive Land Use Plan in March of 2020; and

WHEREAS, in the process of updating the Comprehensive Land Use Plan, members of the public, the Planning Commission and County Commission as well as Planning staff expressed various concerns regarding the design and execution of recent Conservation Subdivisions; and

WHEREAS, concerns highlighted in these discussions were related to the type of land that qualifies as meeting open space requirements, the fact that open space is often not fully integrated into developments, and lot sizes within the subdivisions; and

WHEREAS, another concern expressed related to the way open space is arranged in Conservation Subdivisions, where open space was set aside in a manner that was not contiguous in sufficient amounts so as to provide meaningful preservation, and thus not preserving the viewsheds and land in a way where the agricultural and natural viewsapes could be preserved; and

WHEREAS, it was felt that this outcome is inconsistent with the general intent of Conservation Subdivisions to internalize building lots and to integrate those smaller building lots into the community as a whole; and

WHEREAS, based on those discussions and observations of the impact of the arrangements of open space in some Conservation Subdivisions, the Comprehensive Land Use Plan recommends that the development policies related to Conservation Subdivisions be updated with the overall goal being to minimize the impact of these subdivisions on surrounding properties, to emphasize rural character and specifically to address minimum lot sizes and the type, design, placement and integration of open space; and

WHEREAS, on October 8, 2020, the Williamson County Regional Planning Commission conducted its official Public Hearing on this amendment, which is attached hereto and incorporated herein; and

WHEREAS, based upon its consideration of the Comprehensive Land Use Plan, all the information, public comment and its own Public Hearing, the Williamson County Regional Planning Commission has recommended the adoption of the amendment as presented; and

WHEREAS, the Board of County Commissioners finds and determines that the best interests of Williamson County and its citizens will be served by the adoption of this amendment to the Williamson County Zoning Ordinance as recommended by the Regional Planning Commission; and

WHEREAS, due notice has been published and a public hearing has been held as required by the Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners at its regular meeting on this the 9th day of November, 2020, after conducting the public hearing as required by law, hereby adopts the amendment to the Williamson County Zoning Ordinance, which is attached hereto and incorporated herein as if included verbatim, in accordance with its authority in Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the amendment will be effective and enforced as of the 1st day of January, 2021.

County Commissioner

COMMITTEES REFERRED TO AND ACTION TAKEN:

Regional Planning Commission: For: Against:

Commission Action Taken: For: _____ Against: _____ Pass: _____ Out: _____

Elaine Anderson, County Clerk

Tommy Little, Commission Chairman

Rogers C. Anderson, County Mayor

Date

ITEM 39

AMENDMENT TO ARTICLES 17, 19 AND 23 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING ROAD CAPACITY ADJUSTMENT (TRAFFIC SHEDS)

Attachment	39-1	Proposed Text Amendment
	39-2	Resolution

File Number (6-2020-05)

The County has been utilizing the Highway Capacity Adjustment procedure, also known as Traffic Sheds, for many years as a way to match the intensity of development to the available capacity of the roadway network in the vicinity. This approach has served the County well in many respects, but its success as a regulatory tool has diminished in recent years.

Additionally, the Map Amendment, considered as Item 36 on this agenda, reducing the allowable residential densities in rural areas to 1 unit per 5 acres would render the Traffic Shed methodology obsolete since this methodology “defaults” at this density.

Because of these reasons, the recently adopted Comprehensive Land Use Plan recommends eliminating Traffic Sheds in favor of traditional traffic studies, which are considered a better tool in today’s environment.

The proposed Text Amendment eliminates the Traffic Shed methodology from the Zoning Ordinance and relocates existing traffic study provisions from Article 19 to Article 17.

Staff believes this Text Amendment furthers the goals and policies of the Comprehensive Plan. Therefore, Staff recommends approval of the Text Amendment and that the attached Resolution (See Attachment 39-2) be forwarded to the County Commission for adoption.

ATTACHMENT 39-1

Proposed Changes to Articles 17, 19 and 23-Williamson County Zoning Ordinance regarding the Elimination of the Roadway Capacity Adjustment (Traffic Sheds), and relocate provisions related to Traffic Studies.

Delete the contents of Article 19: Road Capacity Adjustment in its entirety and replace with “Article 19: Reserved”.

Amend Article 23: Section 23.04: Definitions to delete the definition of Traffic Shed.

Remove references to Article 19 and Traffic Shed throughout the entirety of Zoning Ordinance as they may appear.

Correct references to Traffic Studies throughout the entirety of Zoning Ordinance as they may appear.

Add a new Section 17.13: Traffic Studies

Section 17:13: Traffic Studies

(A) EXEMPTIONS

The following use types in Tables 11.01-1 and 11.01-2: Table of Allowed Uses shall be exempt from the provisions of this Section:

- (1) Agricultural;
- (2) Single-family dwellings on parcels of record;
- (3) Mobile homes
- (4) Institutional single-family homes (1-8 residents)
- (5) Traditional subdivisions – minor;
- (6) All residential use types generating 0.2 peak hour trips or less per acre; and
- (7) All nonresidential use types generating 10 peak hour trips or less per acre.

(B) TRAFFIC STUDY REQUIREMENT

Except where otherwise exempted in Section 17:13(A) above, a Traffic Study must be conducted in accordance with the County’s Traffic Study Guidelines for all development of land in the unincorporated County. The general procedure for such studies is as follows:

- (1) Prior to commencement of a traffic study, the County’s traffic engineering consultant will provide the applicant with a scope of work outlining the study area as well as the specific methodology to be utilized in the study;
- (2) The applicant shall conduct the study in accordance with the scope of work and shall submit said study to the County a minimum of 14 days prior to the submittal deadline for the development project that is subject to the study;

- (3) The County's traffic engineering consultant will review the study and will provide a letter summarizing the consultant's findings and outlining recommended improvements that the developer will be required to make in order to mitigate traffic impacts that will be generated by the proposed development; and
- (4) The recommendations of the County's traffic engineering consultant will be incorporated into the conditions of approval for the development that was subject to the study.

(C) ROADWAY IMPROVEMENTS

- (1) No developer-implemented improvements within the right-of-way shall occur unless such improvements are approved by the Highway Superintendent, the Williamson County Highway Commission, or the Tennessee Department of Transportation, as applicable. Written notice of this approval shall be received by the Planning Department staff prior to consideration of the development proposal by the Planning Commission.
- (2) Right-of-way acquisition, construction easement acquisition and/or utility relocation necessary for implementing the roadway improvements shall be the responsibility, and at the expense, of the developer.
- (3) Developer-implemented roadway improvements shall be constructed in accordance with the phasing recommended by the County's traffic engineering consultant.
- (4) If right-of-way has been obtained for roadway improvements that would provide additional capacity, and if the County determines that public funds have been committed that would provide for the completion of these roadway improvements prior to the completion of the proposed development, then this additional capacity may be factored into the findings of the traffic study.

ATTACHMENT 39-2

RESOLUTION NO. _____

Requested by: **Regional Planning Commission
Planning Department**

A RESOLUTION TO AMEND ARTICLES 17, 19 AND 23 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING ROAD CAPACITY ADJUSTMENT (TRAFFIC SHEDS)

- WHEREAS**, on May 14, 2012, the Board of County Commissioners adopted the Update to the Zoning Ordinance (“2013 Zoning Ordinance”) and Official Zoning Map, and established an effective date of January 1, 2013; and
- WHEREAS**, Article 19 of the 2013 Zoning Ordinance outlines a system of traffic evaluation that identifies allowable density within a given Traffic Shed based upon the available capacity of the collector and arterial roads serving a proposed development; and
- WHEREAS**, this Traffic Shed evaluation was applied to all proposed residential developments in the RD-1, RD-5, RP-1, RP-5 so long as the development would not generate 400 or more p.m. peak hour trips, as defined by the Zoning Ordinance; and
- WHEREAS**, this evaluation thus exempted those proposed developments from the requirement to perform a development-specific traffic study; and
- WHEREAS**, while this Traffic Shed evaluation methodology was helpful in some regard when the County was of a more rural population with much less traffic on local roads, the evaluation is no longer effective in fully evaluating the effect of a given development on the roadway network in the surrounding community; and
- WHEREAS**, the Planning staff has received numerous comments in the past from property owners, developers and consultants asking that the Traffic Shed evaluation process be reconsidered; and
- WHEREAS**, the lowest density to which development can be limited based on the Traffic Shed methodology is one unit per five acres. Therefore, if the recommended amendments to the Official Zoning Map are adopted, the Traffic Shed methodology will be unnecessary; and
- WHEREAS**, the 2018 Comprehensive Traffic Strategy identified disadvantages to using the Traffic Shed methodology, and the revised Comprehensive Land Use Plan recommends that the Traffic Shed methodology be eliminated in favor of using Traffic Studies, which can more effectively evaluate and mitigate the impacts of proposed development on the surrounding roadway system; and
- WHEREAS**, on October 8, 2020, the Williamson County Regional Planning Commission conducted its official Public Hearing on this amendment, which is attached hereto and incorporated herein; and
- WHEREAS**, based upon its consideration of all the information, Planning staff recommendation, public comment and its own Public Hearing, the Williamson County Regional Planning Commission has recommended the adoption of the amendment as presented; and
- WHEREAS**, the Board of County Commissioners finds and determines that the best interests of Williamson County and its citizens will be served by the adoption of this amendment to the 2013 Zoning Ordinance as recommended by the Regional Planning Commission; and

WHEREAS, due notice has been published and a public hearing has been held as required by the Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners at its regular meeting on this the 9th day of November, 2020, after conducting the public hearing as required by law, hereby adopts the amendment to the 2013 Williamson County Zoning Ordinance, which is attached hereto and incorporated herein as if included verbatim, in accordance with its authority in Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the amendment will be effective and enforced as of the 1st day of January, 2021.

County Commissioner

COMMITTEES REFERRED TO AND ACTION TAKEN:

Regional Planning Commission: For: _____ Against: _____

Commission Action Taken: For: _____ Against: _____ Pass: _____ Out: _____

Elaine Anderson, County Clerk

Tommy Little, Commission Chairman

Rogers C. Anderson, County Mayor

Date

ITEM 40

AMENDMENT TO ARTICLES 11 AND 23 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING FAMILY SUBDIVISIONS

Attachment 40-1 Proposed Text Amendment
40-2 Resolution

File Number (6-2020-06)

The recently adopted Comprehensive Land Use Plan recommends reducing rural densities outside of Urban Growth Boundaries, Hamlets, and Villages to 1 unit per 5 acres. This reduction in density was addressed with the Map Amendment in Item 36 on this agenda.

The Comprehensive Plan also contains a recommendation to explore methods, incentives, and tools to protect working agriculture in the County. The Plan emphasized the desire to maintain the rural character of the unincorporated County, including the preservation of open space and agricultural lands, especially multi-generational family farms. Additionally, during discussions held in conjunction with the Plan adoption process, citizens as well as appointed and elected officials expressed a desire to ensure that landowners could maintain the ability to create parcels of land for family members in smaller increments, so that residents would have the opportunity and incentive to pass down land to members of their family thus allowing continuity of ownership.

The proposed Text Amendment addresses this circumstance by creating a Family Subdivision use which permits the creation of lots smaller than 5 acres in size in the 1 unit per 5 acres zoning districts for immediate family members of the property owner. The number of such family subdivision lots ranges from 1 to 5 based on the size of the parcel to be divided. Both the property owner and the owner of the newly created lot must sign affidavits certifying that Family Subdivision criteria are met, and the property owner must record a restrictive covenant prohibiting transfer of the lot to a non-family member for a period of 15 years.

Staff believes that the proposed Text Amendment (See Attachment 40-1) will further the goals and recommendations of the Comprehensive Plan. Therefore, Staff recommends approval of the Text Amendment and that the attached Resolution (See Attachment 40-2) be forwarded to the County Commission for adoption.

Reviewer: MM
Date: 10/8/2020

ATTACHMENT 40-1

Proposed Changes to Articles 11 and 23-Williamson County Zoning Ordinance regarding Family Subdivisions. Proposed Changes are shown in **Red**.

Add “Family Subdivisions” as a Use Type under the Household Living Use Category in the Residential Use Classification in Table 11.01-1

TABLE 11.01-1: TABLE OF ALLOWED USES																	
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED																	
USE CATEGORY	USE TYPE	A	RP-5	RD-5	H	RP-1	RD-1	SIC	MGA-1	MGA-5	MGA-H	NC	NCMH	AP	840C	ADDITIONAL REQUIREMENTS	
RESIDENTIAL USE CLASSIFICATION																	
Household Living	Congregate Independent Living Centers														S	Section 11.03:(B)(1)	
	Conservation Subdivisions		P	P	P	P	P	P			P				P	Section 11.03:(B)(2)	
	Mobile Homes	P	P	P									P			Section 11.03:(B)(3)	
	Mobile Home Parks												P			Section 11.03:(B)(4)	
	Multi-Family Dwellings				S			S							S	Section 11.03:(B)(5)	
	Retirement Communities														S	Section 11.03:(B)(6)	
	Single-Family Dwellings on Parcels of Record	P	P	P	P	P	P	P	P	P	P	P	P	P	P		
	Traditional Subdivisions - Major	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
	Traditional Subdivisions - Minor	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
	Family Subdivisions	P	P	P													Section 11.03:(B)(10)

Add “Family Subdivisions” as a Use Type under the Household Living Use Category in the Residential Use Classification in Table 11.01-2

TABLE 11.01-2: TABLE OF ALLOWED USES - VILLAGE DISTRICTS										
P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED										
USE CATEGORY	USE TYPE	V	CGV	GVC1	GVC2	GVC3	GVC4	LFV	TV	ADDITIONAL REQUIREMENTS
RESIDENTIAL USE CLASSIFICATION										
Household Living	Congregate Independent Living Centers					S	S			Section 11.03:(B)(1)
	Conservation Subdivisions									Section 11.03:(B)(2)
	Mobile Homes									Section 11.03:(B)(3)
	Mobile Home Parks									Section 11.03:(B)(4)
	Multi-Family Dwellings	S				S	S			Section 11.03:(B)(5)
	Retirement Communities	S								Section 11.03:(B)(6)
	Single-Family Dwellings on Parcels of Record	P	P	P	P	P	P	P		
	Traditional Subdivisions - Major	P	P	P	S	P	P	P		
	Traditional Subdivisions - Minor	P	P	P	P	P	P	P		
	Family Subdivisions									

Add New Section 11.03 (B)(10): Family Subdivisions as follows:

(10) FAMILY SUBDIVISIONS

Family Subdivisions shall comply with the following standards:

- a)** The minimum lot size shall be 1 acre.
- b)** The minimum lot width shall be 130 feet.
- c)** The minimum building setbacks are as follows:
 - i)** Front – 30 feet
 - ii)** Side – 10 feet
 - iii)** Rear – 30 feet
- d)** Lots must take access from a public road or from an easement with a width of at least 50 feet. Such easement shall not provide access to more than 5 lots or parcels including the lot or lots created via the Family Subdivision.
- e)** The number of Family Subdivision lots that may be created are based upon the size of the parcel to be divided as follows:

Size of Parcel To Be Divided	Number of Additional Lots Allowed In Family Subdivision
5 – 9.99 Acres	1
10-14.99 Acres	2
15 – 24.99 Acres	3
25 – 49.99 Acres	4
50 Acres and greater	5

- f)** Both the owner creating the parcel for an immediate family member and the immediate family member receiving the property shall sign an Affidavit on a form generated by the County certifying that the subdivision meets the criteria of this Section.
- g)** The owner of any lot created via a family subdivision shall place a restrictive covenant on the property to prohibit its transfer to a non-immediate family member for a period of 15 years following the subdivision.

Renumber Current Table 11.03-1: Table of Allowed Rural Retreat-Extensive Uses to Table 11.03-2: Table of Allowed Rural Retreat-Extensive Uses:

TABLE 11.03-2: TABLE OF ALLOWED RURAL RETREAT-EXTENSIVE USES

P = PERMITTED S = SPECIAL USE BLANK CELL = PROHIBITED

Change reference to current Table 11.03-1 to Table 11.03-2 in Article 11, Section 11.03 (D)(5)ix).

Amend Article 23, Section 23.04: Definitions to add the definitions of Family Subdivision and Immediate Family:

FAMILY SUBDIVISION

The division of a lot or parcel for the purpose of sale or gift to a member of the immediate family of the property owner, where the lot to be created does not meet the minimum size requirement for the Zoning District in which it is located.

IMMEDIATE FAMILY

Any person who is a child by birth or by law, step-child, spouse, sibling, grandchild, grandparent, parent or step-parent.

ATTACHMENT 40-2

RESOLUTION NO. _____

Requested by: **Regional Planning Commission
Planning Department**

A RESOLUTION TO AMEND ARTICLES 11 AND 23 OF THE WILLIAMSON COUNTY ZONING ORDINANCE REGARDING FAMILY SUBDIVISIONS

- WHEREAS**, on May 14, 2012, the Board of County Commissioners adopted the Update to the Zoning Ordinance (“2013 Zoning Ordinance”) and Official Zoning Map, and established an effective date of January 1, 2013; and
- WHEREAS**, Article 11 of the Zoning Ordinance describes the Use Regulations and the Zoning Districts where those uses are allowed, as well as unique standards related to specific uses; and
- WHEREAS**, the subdivision development options currently include conservation subdivisions, traditional subdivisions-major and traditional subdivisions-minor; and
- WHEREAS**, Williamson County, Tennessee, by and through its Regional Planning Commission, has adopted a Comprehensive Land Use Plan in 2007 and a revised Comprehensive Land Use Plan in 2020; and
- WHEREAS**, both the Comprehensive Land Use Plan in 2007 and the revised Comprehensive Land Use Plan in 2020 emphasized the desire to maintain the rural character of the unincorporated County, including the preservation of open space and agricultural lands, especially multi-generational family farms; and
- WHEREAS**, during the course of adoption of the Plan, appointed and elected officials, as well as members of the public, expressed a desire to ensure that landowners would maintain the ability to create parcels of land for family members in smaller increments, so that residents had the opportunity and incentive to pass down lands to members of their family thus allowing the continuity of ownership and ability to retain the larger parcels intact; and
- WHEREAS**, the proposed amendment creates the Family Subdivision use, which will permit the creation of a lot or parcel of less than the minimum five-acre density for the purpose of sale or gift to an immediate family member; and
- WHEREAS**, the proposed amendment would limit the number of lots of less than five acres that could be created for a family member based upon the size of the parent parcel, so that the overall desire of maintaining and fostering rural character is not undermined; and
- WHEREAS**, on October 8, 2020, the Williamson County Regional Planning Commission conducted its official Public Hearing on this amendment, which is attached hereto and incorporated herein; and
- WHEREAS**, based upon its consideration of all the information, Planning staff recommendation, public comment and its own Public Hearing, the Williamson County Regional Planning Commission has recommended the adoption of the amendment as presented; and
- WHEREAS**, the Board of County Commissioners finds and determines that the best interests of Williamson County and its citizens will be served by the adoption of this amendment to the 2013 Zoning Ordinance as recommended by the Regional Planning Commission; and
- WHEREAS**, due notice has been published and a public hearing has been held as required by the Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners at its regular meeting on this the 9th day of November, 2020, after conducting the public hearing as required by law, hereby adopts the amendment to the 2013 Williamson County Zoning Ordinance, which is attached hereto and incorporated herein as if included verbatim, in accordance with its authority in Tennessee Code Annotated, Title 13, Chapter 7, Part 1.

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the amendment will be effective and enforced as of the 1st day of January, 2021.

County Commissioner

COMMITTEES REFERRED TO AND ACTION TAKEN:

Regional Planning Commission: For: _____ Against: _____

Commission Action Taken: For: _____ Against: _____ Pass: _____ Out: _____

Elaine Anderson, County Clerk

Tommy Little, Commission Chairman

Rogers C. Anderson, County Mayor

Date

ITEM 41

NON-RESIDENTIAL SITE PLAN REVIEW FOR THE GROVE – GREEN COTTAGES, ON 208 ACRES LOCATED OFF WILDINGS BOULEVARD IN THE 2ND VOTING DISTRICT (5-2020-014).

Attachment	41-1	Site Plan
	41-2	Aerial Photograph
Area	208 acres	
Zoning	Rural Development -1 (RD-1)	
Water	Milcrofton Utility District	
Sewer	Nontraditional Wasterwater Treatment and Disposal System	
Development Option	Private Recreational Center	
Chapter 1101 Status	Rural	
Map and Parcel	142---01302	
File Number	(5-2020-014)	

The applicant is requesting approval of five cottages as part of the amenity center, for the exclusive use of the residents of The Grove development, and associated parking. Pursuant to Section 11.03 (D)(8) of the Zoning Ordinance this Site Plan must be reviewed by the Planning Commission at a public meeting.

The facility, which is located in Open Space, will consist of five cottages each totaling 2,100 square feet for a total of 10,500 square feet for the exclusive use of the residents of the development.

Ordinance standards have been met, as have the requirements of Section 11.03 (D)(8). A Landscaping Plan has been submitted and approved by Staff.

The Site Plan is in order, and Staff recommends approval with the following conditions:

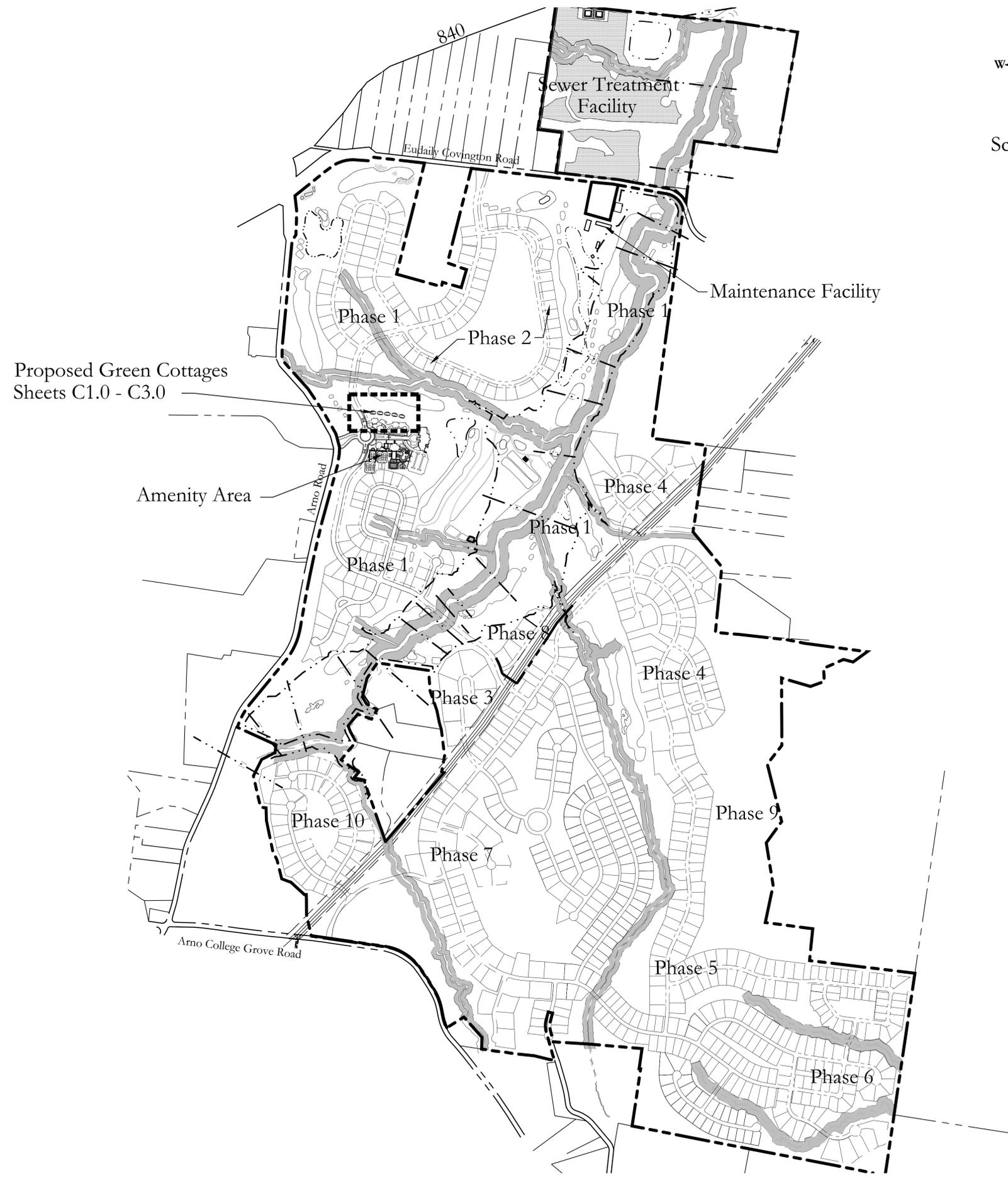
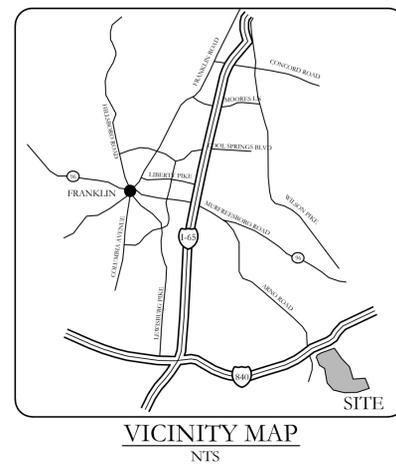
1. Posting of a Performance Bond for water improvements in favor of Milcrofton Utility District in the amount of \$40,000;
2. Posting of a Maintenance Bond for water improvements in favor of Milcrofton Utility District in the amount of \$6,000;
3. Posting of a Performance Bond for landscaping improvements in the amount of \$15,900; and
4. Execution of a Performance Agreement for the above reference surety.

Reviewer: GT
Date: 10/08/2020

Drawing Date:
August 26, 2020

Revisions

Owner/Developer:
TVG Tennessee I, LLC
6200 Wildings Blvd.
College Grove, TN 37046
Contact: John Ohanian
Ph: (714) 785-2381



Site Data

Site Area: Included in Open Space 2 of Golf Course
Open Space 2 Area = 208.289 Acres
See Phase 1, Section 1 Final Plat. Bk P59, Pg 53

Previous Zoning: SE
Current Zoning: RD-1
Existing Use: Private Recreation Center
Proposed Use: Private Recreation Center

NOTE:

1. The Purpose of this Site Plan is to Establish the Location of the Green Cottages just north of the Clubhouse Amenity Area.
2. The Revised Overall Development Concept Plan was Approved May 2020.
3. The Final Plat for the Golf Course was Recorded on March 10, 2014 under Plat Book P59, Page 53.

SHEET INDEX

- C0.0 Overall Site Plan Exhibit
- C1.0 Amenity Area Exhibit
- C2.0 Layout and Utility Plan
- C3.0 Grading and Drainage Plan

Site Plan
The Grove - Green Cottages
Being Parcels 13.02 on Tax Map 142
Williamson County, Tennessee

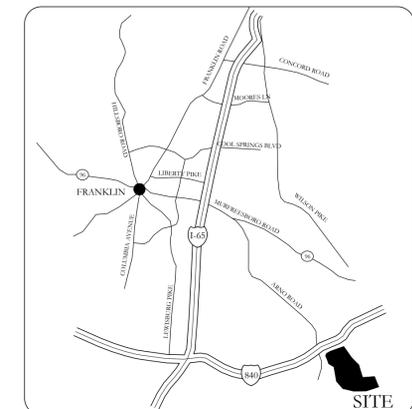
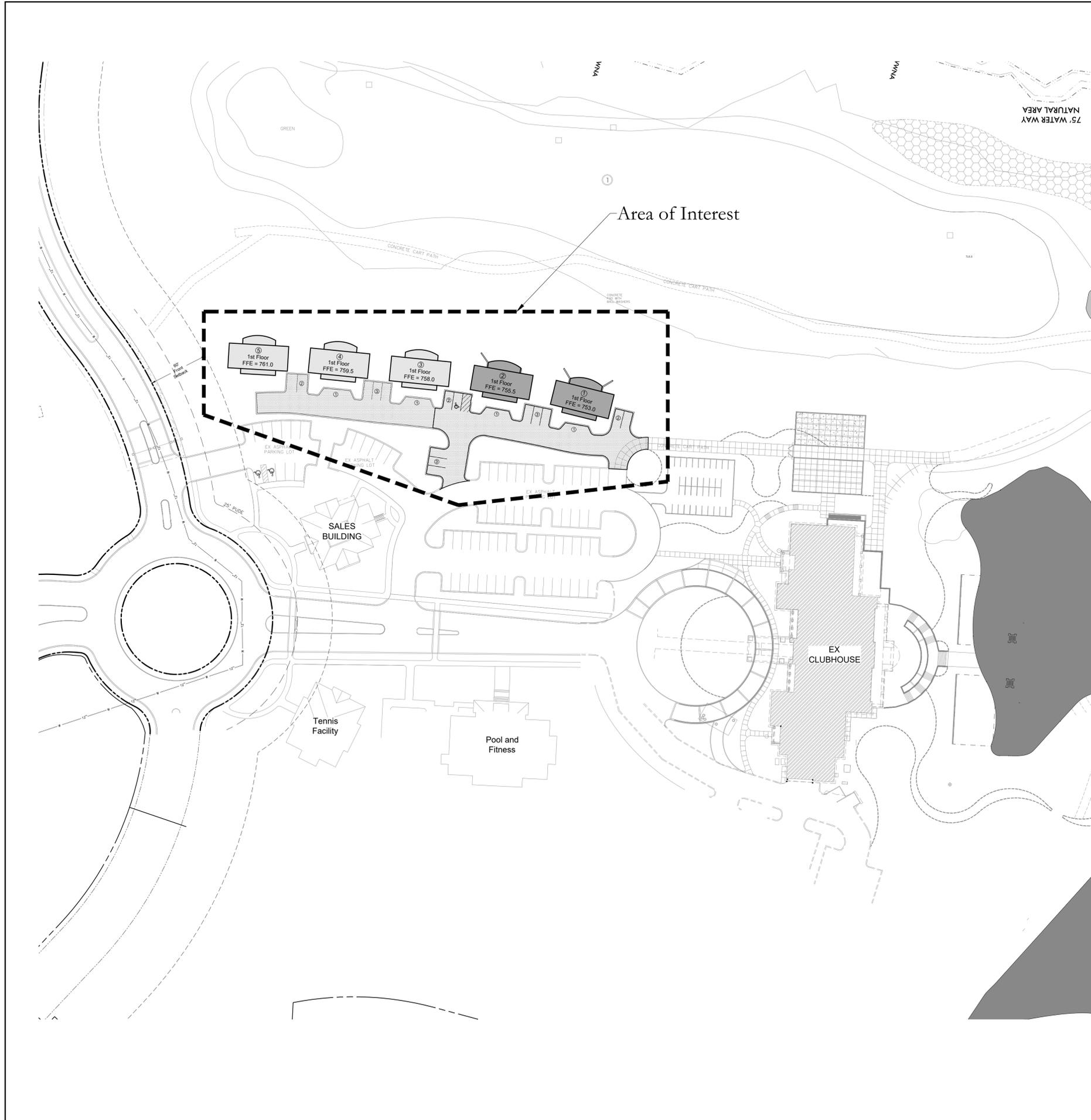


Overall Site
Plan Exhibit



Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying
510 Heather Place
Nashville, TN 37204
(615) 297-5166

D&A Project #11053
Green Cottages
C0.0



VICINITY MAP
NTS

Owner/Developer:
TVG Tennessee I, LLC
6200 Wildings Blvd.
College Grove, TN 37046
Contact: John Ohanian
Ph: (714) 785-2381

Site Data

Site Area: Included in Open Space 2 of Golf Course
Open Space 2 Area = 208.289 Acres
See Phase 1, Section 1 Final Plat. Bk P56, Pg 28

Previous Zoning: SE

Current Zoning: RD-1

Existing Use: Private Recreation Center

Proposed Use: Private Recreation Center

Drawing Date:
August 26, 2020

Revisions

Site Plan
The Grove - Green Cottages
Being Parcels 13.02 on Tax Map 142
Williamson County, Tennessee



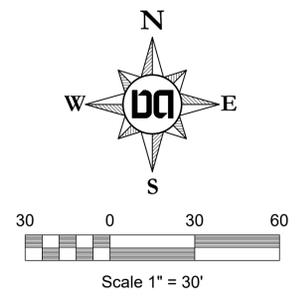
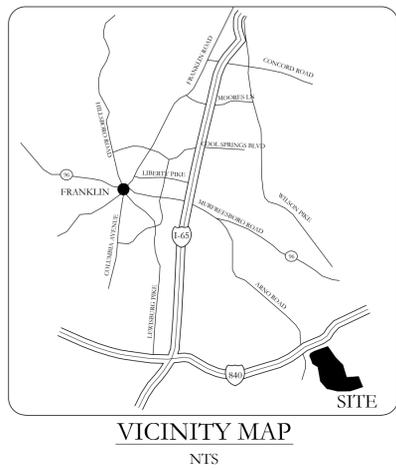
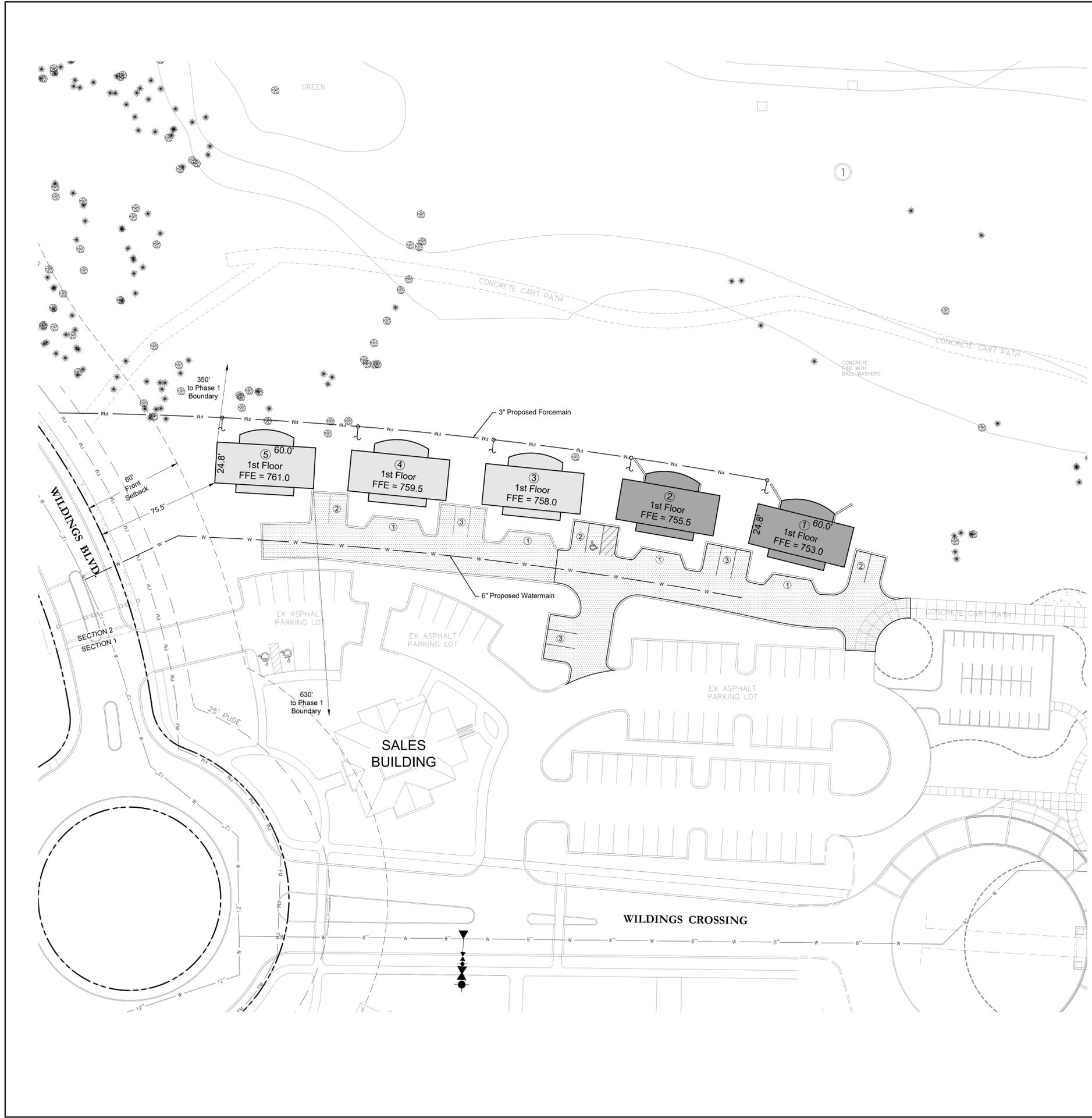
Amenity Area
Exhibit



Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying
516 Heather Place
Nashville, TN 37204
(615) 297-5166

Amenity Area Exhibit

D&A Project #11053
Green Cottages
C1.0



Owner/Developer:
TVG Tennessee I, LLC
6200 Wildings Blvd.
College Grove, TN 37046
Contact: John Ohanian
Ph: (714) 785-2381

Site Data

Site Area: Included in Open Space 2 of Golf Course
Open Space 2 Area = 208.289 Acres
See Phase 1, Section 1 Final Plat. Bk P56, Pg 28

Previous Zoning: SE
Current Zoning: RD-1
Existing Use: Private Recreation Center
Proposed Use: Private Recreation Center

NOTES:

- Contact Milcrofton to Coordinate Water Service tap. Mike Jones (615) 794-5947 x24.
- Contact Adenus to Coordinate Sewer Service Connection. Matthew Nicks 888-423-3687.
- Contact Tennessee One-Call Prior to Commencement of Any Work to Locate Existing Utilities.
- The Contractor Shall be Responsible for the Verification and Location of any Existing Utilities. It Shall be the Responsibility of the Contractor to Avoid Damage to All Existing Utilities During Construction. If Damage Does Occur to Any Such Installation, Full Repair will be Accomplished as per the Current Specification Governing Such Work.
- There is NO Flood Hazard Area near the Location of the Green Cottages. Per FIRM #'s 47187C0380F Dated Sept. 29, 2006.

Cottages 1-5	2,100 sf
Total	10,500 sf
Stories	2 (front) 3 (rear - walk-out basement)

Parking

Existing Stalls Provided	216 (entire amenity area)
Cottage Stalls Required	10*
Proposed Cottage Stalls Provided	19

*Utilized equivalent Single Family House requirement

25 Employees - entire Amenity Area

Non-Residential RD-1 Setbacks

Front Setback	60'
Side Setback	35'
Rear Setback	60'

Site Plan
The Grove - Green Cottages
 Being Parcels 13.02 on Tax Map 142
 Williamson County, Tennessee



Layout and Utility Plan



Dale & Associates

Civil Engineering
Land Planning & Zoning
Surveying

516 Heather Place
Nashville, TN 37204
(615) 297-5166

Layout and Utility Plan

D&A Project #11053
Green Cottages
C2.0

ATTACHMENT 41-2



Legend

- Parcels
- Parcel Numbers
- Parcel Acreage
- Subdivision Name
- Lot Numbers
- Group Corner Annotation
- Control Map
- Notes
- Miscellaneous
- Easement
- Exemptions
- Conflicts
- Lines
- Corporate Limits
- BRENTWOOD
- FAIRVIEW
- FRANKLIN
- NOLENSVILLE
- SPRING HILL
- THOMPSONS STATION
- Parks
- Centerlines
- <all other values>
- INTERSTATE
- ACCESS
- LOCAL STREETS

Notes

0.1 0 0.03 0.1 Miles

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

ITEM 42

FINAL PLAT REVIEW FOR PROPERTY OF ROBERT WILSON LOTS 1 & 2, LARGE LOT EASEMENT SUBDIVISION, CONTAINING 2 LOTS ON 14.90 ACRES LOCATED OFF SMITHSON ROAD IN THE 2ND VOTING DISTRICT (1-2020-428)

Attachment	42-1	Final Plat
	42-2	Aerial Photograph
Area		14.9 acres
Lots		2
Zoning		Rural Development-5 (RD-5)
Water		H.B. & T.S. Utility District
Sewer		Individual Septic Systems
Development Option		Large Lot Easement
Chapter 1101 Status		Rural
Map and Parcel		171---03802
File Number		(1-2020-428)

The subject property is approximately fifteen (15) acres in size and is located on Smithson Road, approximately ¼ mile west of Banner Adams Road. The applicant is requesting approval of a Large Lot Easement Subdivision in order to create the second and third lots off an existing ingress/egress/utilities easement.

The site contains natural resources requiring protection, including steep slopes, a hilltop, and woodlands. There are moderately steep slopes inside and outside of building envelopes, and very steep slopes outside of building envelopes. The site is also almost entirely under tree canopy. All Zoning Ordinance requirements, including those regarding the protection of natural resources, have been met.

The applicant is proposing individual septic systems for the lots, and the Williamson County Department of Sewage Disposal Management has approved the request. Water will be provided by the H.B. & T.S. Utility District. As no fire hydrants are proposed, and as none are currently located within 500 feet of the building envelopes, the building envelopes have been separated by 200 feet.

The plat is in order and Staff recommends approval.

Reviewer: LS
Date: 10/08/2020

WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT NOTES

1. ANY CUTTING, FILLING, COMPACTION, OR DISTURBANCE FROM THEIR NATURAL STATE OF THE SOIL AREAS RESERVED FOR SEWAGE DISPOSAL, SHALL RESULT IN REVOCATION OF THE LOT APPROVAL. ADDITIONALLY, THE DEPARTMENT SHALL HAVE THE AUTHORITY TO REFUSE TO GRANT A CONSTRUCTION PERMIT OR MAY REVOKE A CONSTRUCTION PERMIT WHERE THE INTEGRITY OF THE PROPOSED SUBSURFACE SEWAGE DISPOSAL AREAS HAS BEEN COMPROMISED.
2. ALL SEPTIC SYSTEMS MUST BE INSTALLED BY AN INSTALLER LICENSED BY WILLIAMSON COUNTY TO CONSTRUCT ALTERNATIVE OR CONVENTIONAL SEPTIC SYSTEMS.
3. NO BATHING FIXTURES EXCEEDING STANDARD CAPACITY (20 U.S. GALLONS, INCLUDING, BUT NOT LIMITED TO OVERSIZED BATHTUBS, SPA-TUBS, HOT TUBS, WHIRLPOOLS, OR JACUZZIS, ETC.), SHALL BE ALLOWED UNLESS SPECIFICALLY APPROVED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT.
4. NO UTILITIES (I.E. GAS, WATER, OR ELECTRIC) OR THEIR EASEMENTS, ABOVE OR BELOW GROUND, SHALL BE ALLOWED TO ENDOACH WITHIN 10 FEET OF THE BOUNDARIES OF THE SOIL AREA RESERVED FOR SEWAGE DISPOSAL.
5. CURTAIN/INTERCEPTOR DRAINAGE MAY BE REQUIRED ON ANY OR ALL LOTS.
6. NO CUTTING, FILLING, COMPACTION, OR ANY DISTURBANCE OF THE AREA RESERVED FOR SEWAGE DISPOSAL SHALL BE PERMITTED.
7. THE LIMITS OF ALL EXCAVATION GREATER THAN 18 INCHES IN DEPTH, MADE FOR THE PURPOSE OF HOUSE CONSTRUCTION, (OR ANY OTHER TYPE OF BUILDING CONSTRUCTION), SHALL BE KEPT 25' OR MORE AWAY FROM THE PLATTED OR DESIGNATED SEWAGE DISPOSAL AREAS.
8. THE LIMITS OF ALL EXCAVATIONS, MADE FOR THE PURPOSE OF HOUSE CONSTRUCTION, (OR ANY OTHER TYPE OF CONSTRUCTION) SHALL BE KEPT WITHIN THE CONFINES OF THE PLATTED BUILDING ENVELOPE.
9. ALL PARTS OF THE HOUSE AND ANY OF ITS RELATED APPENAGES (INCLUDING, BUT NOT LIMITED TO DETACHED GARAGES, PORCHES, DECKS, SIDEWALKS, DRIVEWAYS, PARKING AREA, UTILITIES, ETC.) SHALL STRICTLY ADHERE TO THE MINIMUM SETBACK REQUIREMENTS FROM THE SUBSURFACE SEWAGE DISPOSAL SYSTEM AREAS AS OUTLINED IN SECTION 13 OF THE REGULATIONS GOVERNING ON-SITE SEWAGE DISPOSAL SYSTEMS, ADOPTED MAY 16, 2000, AND EFFECTIVE OCTOBER 1, 2000.
10. NO CONSTRUCTION OF PATIOS, SWIMMING POOLS, ACCESSORY BUILDING, ETC., SHALL BE ALLOWED ON ANY LOT SERVED BY A SUBSURFACE SEWAGE DISPOSAL SYSTEM, UNLESS APPROVED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT.
11. WATER SERVICE LINES MUST BE SEPARATED FROM SEWAGE DISPOSAL AREAS OR PLATTED DISPOSAL FIELD AREAS BY A MINIMUM OF 10 FEET.
12. NO WATER SOURCE WELLS OR SPRINGS ARE TO BE DRILLED OR CONSTRUCTED WITHIN 50 FEET OF ANY PORTION OF COMPONENT OF THE SEPTIC SYSTEM OR THE DESIGNATED OR PLATTED SEWAGE DISPOSAL FIELD AREAS.
13. NO IRRIGATION SYSTEMS, OR THEIR COMPONENTS THEREOF, SHALL ENDOACH ON, IN, OR WITHIN 10 FEET OF THE BOUNDARIES OF THE DESIGNATED OR PLATTED SEWAGE DISPOSAL AREAS.
14. ALL PLATTED SEWAGE DISPOSAL AREAS MUST BE FIELD STAKED BY A LICENSED SURVEYOR AND FENCED OFF, TO PROTECT THE AREAS FROM ALL CONSTRUCTION TRAFFIC, BY THE PROPERTY OWNER OR BUILDING CONTRACTOR. THE AREAS MUST THEN BE FIELD DECORATED AND VERIFIED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT PRIOR TO THE ISSUANCE OF THE SEPTIC PERMIT.
15. ROBERT T. WILSON PROPERTY, MAP 171, PARCEL 38.02, LOT 1 IS RESTRICTED TO 1-5 BEDROOM SINGLE FAMILY DWELLING WITH NO OVERSIZED TUBS. LOT 2 IS RESTRICTED TO 1-4 BEDROOM SINGLE FAMILY DWELLING WITH NO OVERSIZED TUBS.
16. DESIGNATED SEWAGE DISPOSAL AREAS PLATTED IN ACCORDANCE WITH ACCEPTABLE SOIL AREAS FIELD MAPPED BY JOHN GIBI PREP CONSULTING SOIL SCIENTIST, ON 12-10-2019 AND REVISED ON 1-2-2020 WITH ADDITIONAL MAPPING COMPLETED ON 3-15-2020 AND REVISED ON 3-20-2020.

17. THIS SITE MAY REQUIRE THE USE OF A SEWAGE EFFICIENT PUMP AND APPROPRIATELY SIZED PUMP TANK IN ORDER TO PROVIDE SEWER SERVICES FROM THE HOUSE TO THE SDDS AREAS. THIS SHALL BE SPECIFIED BY THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT BASED UPON THE FINISHED ELEVATION OF THE HOUSE PLUMBING STAKE-OUT AND THE SDDS AREAS.
18. CURTAIN, INTERCEPTOR, AND DRAIN-DOWN DRAINAGE MAY BE REQUIRED ON ALL LOTS, AS SUCH THEY SHALL STRICTLY ADHERE TO THE DESIGN, LOCATION AND ROUTING DEPICTED ON THIS PLAN. HOWEVER, THE DRAINAGE AS SHOWN HEREON ARE SUBJECT TO CHANGE AT THE SOLE DISCRETION OF THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT AS DEEMED NECESSARY BY THEIR FIELD INVESTIGATION AT THE TIME OF SUBMITTAL OF EACH INDIVIDUAL LOT'S ALTERNATIVE MANAGEMENT'S EVALUATION WILL BE CONDUCTED ON SITE-SPECIFIC, LOT BY LOT BASIS.
19. CON DENOTES THAT THIS LOT IS SERVED BY A CONVENTIONAL SEPTIC SEWAGE DISPOSAL SYSTEM.
20. LPP DENOTES THAT THIS LOT IS SERVED BY A LOW PRESSURE PIPE SYSTEM, WHICH IS AN ALTERNATIVE MEANS OF SEWAGE DISPOSAL.
21. MRP DENOTES THAT THIS LOT IS SERVED BY A MODIFIED LOW PRESSURE PIPE SYSTEM, WHICH IS AN ALTERNATIVE MEANS OF SEWAGE DISPOSAL. MODIFIED LPP SYSTEMS REQUIRE 6 TO 10 INCHES OF COMPATIBLE SOIL FILL MATERIAL TO BE INCORPORATED ONTO THE DESIGNATED OR PLATTED SEWAGE DISPOSAL AREA, UNDER SUPERVISION OF SEWAGE DISPOSAL MANAGEMENT SUPERVISOR.
22. BEFORE A PERMIT TO CONSTRUCT A LPP OR MRP SEPTIC SYSTEM CAN BE ISSUED, DETAILED SITE AND DESIGN PLANS FOR THE LPP OR MRP SYSTEM SHALL BE SUBMITTED TO THE WCDSDM FOR REVIEW AND APPROVAL. THESE PLANS SHALL BE PREPARED BY AN ENGINEER LICENSED IN TENNESSEE.
23. PROPERTY IS SERVED BY H.B. & T.S. UTILITY SYSTEM.
24. PRIOR TO INSTALLATION, THE LOCATION OF THE WELL, SPRING, CISTERN, OR PRIVATE WATER SOURCE MUST BE APPROVED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT.
25. LOCATION OF WELL, SPRING, CISTERN, OR PRIVATE WATER SOURCE MUST BE A MINIMUM OF 50 FEET AWAY FROM ANY SEWAGE DISPOSAL AREA, INCLUDING THOSE LOCATED ON ADJACENT LOTS.
26. EXACT LOCATION OF WATER SOURCE (I.E. WELL, CISTERN, SPRING OR PRIVATE WATER SOURCE) MUST BE FIELD LOCATED BY A SURVEYOR OR ENGINEER ON A COPY OF THIS PLAN AND SUBMITTED TO THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT FOR REVIEW AND RECORD KEEPING PURPOSES.
27. SDDS COMPONENTS CROSSING UTILITIES (AND THEIR RELATED EASEMENTS) IN ADDITION TO DRIVEWAYS, ACCESS EASEMENTS, ETC., ANY AND ALL SDDS COMPONENTS (INCLUDING BUT NOT LIMITED TO: CURTAIN DRAINS, SEWAGE SUPPLY LINES, MANIFOLDS, ETC.), SHALL BE SEALED AND BEDED (AS PER SPECIFICATIONS FROM WCDSDM) WHERE THEY CROSS ANY DRIVEWAY, ACCESS EASEMENT, UTILITY LINES (AND THEIR RELATED EASEMENTS). THE SEALING SHALL EXTEND FROM A POINT 10' PAST THE LIMITS OF ANY EASEMENT. ALL CROSSINGS MUST BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT. ALL SEALINGS MUST BE SCHEDULE 80 PVC OR DUCTILE IRON AND BE BEDED IN 12" OF GRAVEL.
28. THERE SHALL BE NO SEWAGE BEARING CONVEYANCES (PIPES, SUPPLY LINES, MANIFOLDS, SEPTIC, OR PUMP TANKS ETC.) LOCATED WITHIN 50' OF ANY AND ALL WELLS ON THIS PROPERTY.
29. BEFORE A PERMIT TO CONSTRUCT A CONVENTIONAL SYSTEM SERVING SINGLE SOURCES WITH A PROJECTED WASTEWATER FLOW RATE EXCEEDING 750 GALLONS PER DAY (GPD), DETAILED SITE AND DESIGN PLANS FOR SAID SYSTEM SHALL BE SUBMITTED TO THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT FOR REVIEW AND APPROVAL. THESE PLANS SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE.
30. ALL PLUMBING FIXTURES ARE TO BE OF THE WATER CONSERVATION TYPE, INCLUDING LOW VOLUME FLUSH TOILETS (1.6 GALLONS OR LESS), 1.5 TO 2.0 GALLONS PER MINUTE SHOWER HEADS AND FAUCET AERATORS.

MAP NOTE:
WATERWAY NATURAL AREAS (DESIGNATED AS MAINTAINED OR ALL-INTERMITTENT OR PERENNIAL STREAM WATERWAYS AS DEFINED IN THE WILLIAMSON COUNTY STORM WATER MANAGEMENT REGULATIONS. FOR INFORMATION OR ASSISTANCE IN APPLYING THESE REGULATIONS, PLEASE CONTACT THE WILLIAMSON COUNTY ENGINEERING DEPARTMENT AT (615) 799-5725.

ADDITIONALLY: MNA: There shall be no clearing, grading, construction or disturbance of vegetation except as permitted by the Williamson County Engineering Department.

NOTE:
AN ANNUAL PERMIT MUST BE OBTAINED FROM THE STATE OF TENNESSEE AT THE DEPARTMENT OF ENVIRONMENT & CONSERVATION BEFORE ANY CONSTRUCTION, EXCAVATION, CLEARING OR GRADING ACTIVITIES CAN OCCUR WITHIN THE CREEK OR WATERWAY NATURAL AREA.

HILLTOP & RIDGETOP PROTECTION NOTE:
TOTAL AREA WITHIN HILLTOPS & RIDGETOPS = 125,730 SF
AREA OF BUILDING ENVELOPES WITHIN HILLTOP & RIDGETOPS = 25,111 SF
100 - ((25111/125730) * 100) = 20.0
80% OF HILLTOPS AND RIDGETOPS TO BE PRESERVED INCLUDING SEPTIC AREAS & DRIVEWAYS

CANOPY PROTECTION NOTE:
PARCEL TOTAL SF: 649,175 SF
EXISTING CANOPY COVERAGE = 561,410 SF
CANOPY COVERAGE = 86.5%
MINIMUM CANOPY TO BE PROTECTED = 51%
AREA OF POTENTIAL CANOPY DISTURBANCE = 68,875 SF (INCLUDES BUILDING ENVELOPES, EXISTING & NEW SEPTIC AREAS, EXISTING DRIVEWAYS, EXISTING RESIDENCE & POTENTIAL DRIVEWAYS) ((68875/561410)*100) = 12.3%
87.7% OF EXISTING CANOPY TO BE PRESERVED

INTERCEPTOR DRAIN ELEVATION SCHEDULE TABLE

LOT #	MIN. DEPTH +36"	GROUND					INVERT				
		A	B	C	D	E	A	B	C	D	E
LOT 1		66.5	61.0	57.5	61.0	57.0	63.5	58.0	54.5	58.0	54.5
LOT 2		114.5	104.0	100.0	112.0	102.0	111.5	101.0	97.0	102.0	98.0

EXISTING H.B. & T.S. WATERLINE
EXISTING Q.50' INGRESS/EGRESS & UTILITY EASEMENT DEED BOOK 7296, PAGE 693
40' MTEMC EASEMENT DB 2440, PG 118 DB 3209, PG 612

MAP 171, PARCEL 38.02
HOFFMAN FAMILY GRANTOR TRUST DB 7489, PG 691

MAP 171, PARCEL 37.00
JERALD & DONNA GRACE GLENN DB 101, PG 43

MAP 171, PARCEL 42.01
ALAN STUART & LORI JEAN BOYD DB 6000, PG 62

MAP 171, PARCEL 38.01
GREG & DONNA BESAW DB 1946, PG 640

DECK AND SMOOTH GARDEN AREA PRIOR TO INSTALLATION

CONDITIONAL APPROVAL NOTE (LOT 1):
THE EXISTING HOUSE WAS CONSTRUCTED CIRCA 2001 ACCORDING TO THE WILLIAMSON COUNTY TAX RECORDS. THE EXISTING SUBSURFACE SEWAGE DISPOSAL SYSTEM (SDDS) SERVING SAID HOUSE WAS PERMITTED ON APRIL 11, 2001 AND SUBSEQUENTLY INSTALLED, INSPECTED AND APPROVED ON OCTOBER 4, 2001 (REFER TO THE CERTIFICATE OF COMPLETION OF SUBSURFACE SEWAGE DISPOSAL SYSTEM, ON FILE WITH WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT (WCDSDM)). SAID SEPTIC SYSTEM WAS APPROVED FOR A THREE (3) BEDROOM SINGLE FAMILY RESIDENCE WITH NO OVER-SIZED BATHING FIXTURES. BASED UPON INFORMATION PROVIDED BY THE CURRENT OWNER, THE EXISTING HOUSE CONTAINS THREE (3) BEDROOMS AND ONE 79 GALLON OVER-SIZED TUB WITH A FULL UNFINISHED BASEMENT. THE EXISTING SDDS WAS NOT SIZED TO ACCOMMODATE THE FLOW FROM AN OVER-SIZED TUB, THEREFORE, CLASSIFYING THE EXISTING SDDS AS DOCUMENTED AND NON-COMFORMING. SINCE THE CURRENT SDDS IS NON-COMFORMING AND DOES NOT MEET CURRENT REGULATIONS, THE DEPARTMENT CANNOT CERTIFY, CONFIRM OR GUARANTEE THE OPERATION OR SUFFICIENCY OF THE USE OF THIS SYSTEM. THE EXISTING STRUCTURE MAY BE OCCUPIED AND EXISTING SDDS MAY REMAIN IN USE, SO LONG AS NO FAILURE OF THE SDDS OCCURS AND SO LONG AS THERE ARE NO ADDITIONS, ALTERATIONS, OR RENOVATIONS TO THE EXISTING STRUCTURE OR ITS APPURTENANCES. HOWEVER, ANY FAILURE TO THE EXISTING SDDS OR ANY ADDITIONS, EXPANSIONS, ALTERATIONS OR RENOVATIONS TO THE EXISTING STRUCTURE OR DEMOLITION OF THE EXISTING STRUCTURE AND CONSTRUCTION OF A NEW STRUCTURE SHALL REQUIRE ABANDONMENT OF THE CURRENT SDDS IN ACCORDANCE WITH WCDSDM REGULATIONS AND INSTALLATION OF A NEW SDDS IN THE SEPTIC FIELD AREAS DESIGNATED ON THIS DRAWING FOR SUCH. THROUGH THE OWNER HAS STATED THAT THERE ARE NO PLANNED ADDITIONS OR RENOVATIONS TO THE EXISTING HOME AT HIS TIME, THEY WOULD LIKE TO RESERVE SOIL AREAS TO ACCOMMODATE A POTENTIAL ADDITION OR EXPANSION IN THE FUTURE. HENCE, ONE OF THE REASONS FOR THIS LOCATION MAP IS TO DESIGNATE NEW SEPTIC FIELD AREAS FOR A PRIMARY RESIDENCE APPROPRIATELY SIZED AND COMPLIANT WITH THE CURRENT WCDSDM REGULATIONS. THE NEWLY DESIGNATED SEPTIC FIELD AREAS FOR THE PRIMARY RESIDENCE ARE SIZED TO ACCOMMODATE A LOW PRESSURE PIPE (LPP) SYSTEM FOR A RESIDENCE WITH A MAXIMUM OF FIVE (5) BEDROOMS WITH NO OVER-SIZED BATHING FIXTURES. THE PROPOSED NEW SEPTIC AREAS ON LOT 1 ARE DESIGNATED FOR A LOW PRESSURE PIPE (LPP) SYSTEM (WHICH IS AN ALTERNATIVE MEANS OF SEWAGE DISPOSAL); AND BEFORE A PERMIT CAN BE ISSUED TO USE THESE AREAS, DETAILED SITE AND DESIGN PLANS FOR THE PROPOSED LPP SYSTEM MUST BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE; AND SAID PLANS MUST BE SUBMITTED TO THE WCDSDM FOR REVIEW AND APPROVAL. AREA B WILL REQUIRE THE SOILS TO BE MODIFIED.

GENERAL NOTES:
1) THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS.
2) BEARINGS ARE BASED ON RECORD OF DEED.
3) THIS SURVEY WAS PREPARED USING THE CURRENT DEEDS OF RECORD. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF A TITLE SEARCH.
4) ALL DEED BOOK REFERENCES PERTAIN TO REGISTER'S OFFICE OF WILLIAMSON COUNTY, TENNESSEE.
5) SUBJECT PROPERTY IS LOCATED IN THE 12TH CIVIL DISTRICT, WILLIAMSON COUNTY, TENNESSEE.
6) UTILITIES AS SHOWN WERE TAKEN FROM VISIBLE FIELD LOCATIONS. UTILITY DETAILS AND PRECISE GROUND LOCATIONS SHOULD BE OBTAINED FROM THE PROPER AUTHORITIES BEFORE ANY GROUND DISTURBANCE OR CONSTRUCTION IS STARTED.
7) NO PORTION OF THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS A 100 YEAR FLOOD ZONE AS EVIDENCED ON FEMA PANELS: 447804045F & 447804046F OF WILLIAMSON COUNTY, TN, DATED 09/29/2006.
8) THIS SITE HAS BEEN REVIEWED FOR THE PRESENCE OF STEEP SLOPES, HILLTOPS AND RIDGETOPS, SLIPPAGE SOILS, AND KARST FEATURES. AREAS FALLING WITHIN THESE CATEGORIES HAVE BEEN NOTED ON THIS PLAT.
9) THERE ARE SLOPES LESS THAN 5% TO OVER 20% WITHIN THE BOUNDARY OF THE SUBDIVISION.
10) THERE ARE SLOPES FROM 15% TO LESS THAN 20% WITHIN THE BUILDING ENVELOPES OF LOT 1 & 2. DUE TO SLOPES WITHIN THE BUILDING ENVELOPES, ENGINEERED SITE PLANS WILL BE REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
11) THERE ARE NO SLOPES 20% OR GREATER WITHIN THE BUILDING ENVELOPES OF LOT 1 OR LOT 2.
12) THERE ARE HILLTOPS OR RIDGETOPS WITHIN THE BOUNDARY OF THE SUBDIVISION.
13) THERE ARE NO SLIPPAGE SOILS WITHIN THE BOUNDARY OF THE SUBDIVISION AS DETERMINED BY THE WILLIAMSON COUNTY SOIL SURVEY.
14) THIS SITE HAS BEEN REVIEWED FOR THE EXISTENCE OF INTERMITTENT AND PERENNIAL STREAMS. STREAMS THAT WOULD REQUIRE WATERWAY NATURAL AREAS AS DESCRIBED IN SECTION 4 OF THE WILLIAMSON COUNTY STORMWATER MANAGEMENT REGULATIONS HAVE BEEN LOCATED AS SHOWN. (SEE MNA NOTE)
15) THERE ARE NO WETLANDS PRESENT AS DETERMINED BY THE NATIONAL WETLANDS INVENTORY.
16) GENERAL SETBACKS ARE: FRONT AND REAR=100'; SIDES=25'; REAR=50'. DUE TO NO FIRE HYDRANT, BUILDING ENVELOPES HAVE A 200' SEPARATION. THERE ARE NO BUILDING ENVELOPES OR RESIDENTIAL STRUCTURES WITHIN 200' OF THE SUBDIVISION BUILDING ENVELOPES AND THE ADJACENT PARCELS.

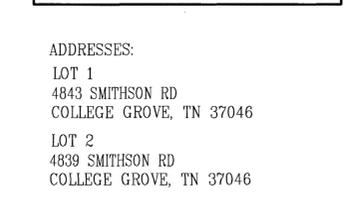
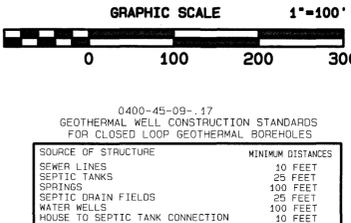
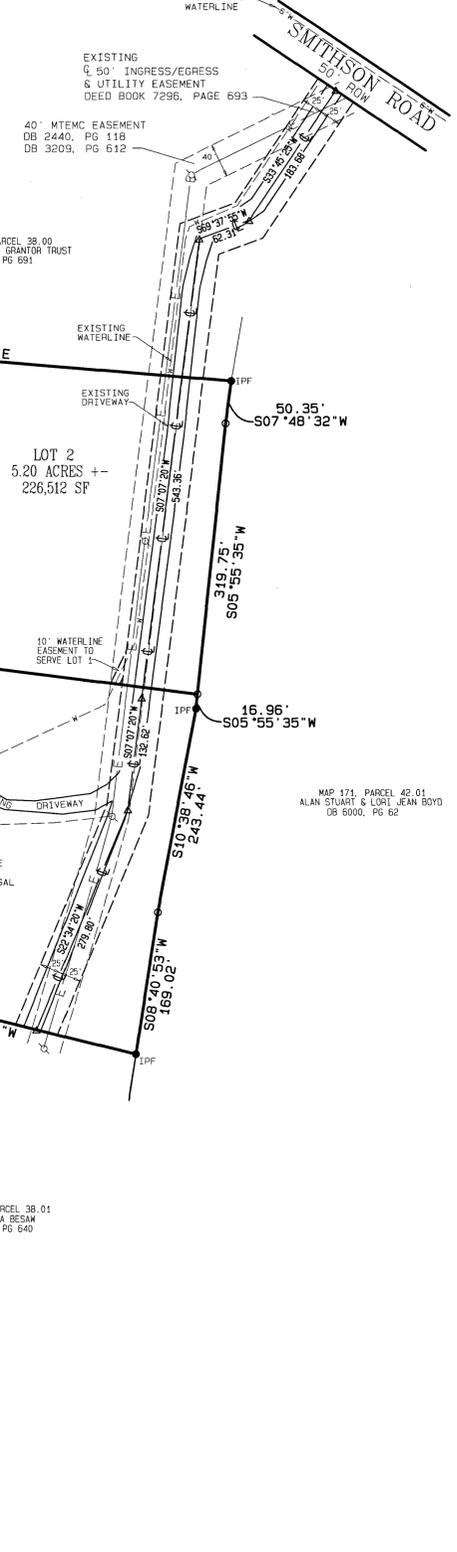
PRIVATE DRIVEWAY NOTATION
This is a private driveway and is not a public road. Williamson County does not have responsibility for building or maintaining the private driveway. The Williamson County Highway Commission may, at its discretion, agree to accept this private driveway as a public road into the County Highway System. If all property owners agree to (1) petition the Highway Commission for a public road and (2) build or pay for upgrading the private driveway to County specifications in effect at the time of the request.
Date: 2020
County Engineer: County Road Superintendent

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME & STREET NAMES
I do hereby certify that the Subdivision Name and Street Name have been approved by the Williamson County Engineering Management Agency (EMA).
Date: 9/23/2020
Dumack Kelly J Rep. EMA Representative

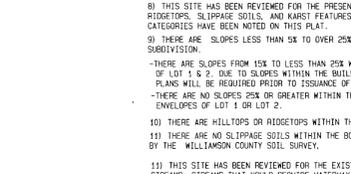
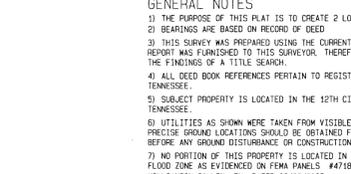
CERTIFICATE OF APPROVAL FOR ADDRESSES
I do hereby certify that the addresses denoted on this plat are those assigned by the Department of Information Technology (IT).
Date: 9/24/2020
Dumack Kelly J Rep. IT Representative

CERTIFICATE OF APPROVAL FOR RECORDING
I hereby certify that the Subdivision plot shown herein has been found to comply with the Subdivision Regulations for Williamson County, Tennessee, with the exception of such variations, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the County Register.
THIS PLAT IS INVALID IF NOT RECORDED BY: _____
DATE: _____ SECT. OF PLANNING COMMISSION: _____

CERTIFICATE OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEM WITH RESTRICTIONS
GENERAL APPROVAL IS HEREBY GRANTED FOR LOTS PROPOSED HEREON AS BEING SUITABLE FOR SUBSURFACE SEWAGE DISPOSAL WITH THE LISTED AND/OR ATTACHED RESTRICTIONS.
BEFORE THE INITIATION OF CONSTRUCTION, THE LOCATION OF THE HOUSE OR OTHER STRUCTURE AND PLANS FOR THE SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE APPROVED BY THE LOCAL HEALTH AUTHORITY.
DATE: _____ LOCAL HEALTH AUTHORITY: _____ BRIAN CORNW, DIRECTOR



ADDRESSES:
LOT 1
4843 SMITHSON RD
COLLEGE GROVE, TN 37046
LOT 2
4839 SMITHSON RD
COLLEGE GROVE, TN 37046



CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book 7302, page 104, book 7296, page 693 and book 2019, page 234 R.O.W.C., and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction line, and that offers of irrevocable dedication for all public streets, utilities and other facilities have been filed as required by these regulations.
Date: 9-23-20
Robert T. Wilson
Owner Name (Printed)
Title (if acting for partnership or corporation)
Date: _____
Owner Name (Printed)
Title (if acting for partnership or corporation)

RECEIVED BY: WILLIAMSON COUNTY DEPARTMENT OF Sewage Disposal Management
SEPTEMBER 24, 2020 9:40 AM 88 PLAT # 3783

CURRENT ZONING: RURAL DEVELOPMENT 5, RD-5
WILLIAMSON COUNTY REGIONAL PLANNING COMMISSION
STATE OF TENNESSEE

LARGE LOT EASEMENT SUBDIVISION
LOTS 1 & 2
ROBERT T. WILSON PROPERTY

TOTAL ACRES = 14.90	TOTAL LOTS = 2
MILES NEW ROADS = 0.00	ACRES NEW ROADS = 0.00
PARCEL 38.02 OF TAX MAP 171	

OWNER ROBERT T. WILSON
DEED BOOK 7302, PAGE 104, DEED BOOK 7296, PAGE 693
AND DEED BOOK 2019, PAGE 234
CIVIL DISTRICT 12TH SCALE: 1"= 100' CLOSURE 1/15,000
DATE: 08/13/2020, REVISED 09/23/2020 SHEET 1 OF 1

ARROWHEAD SURVEY
4151 OLD HILSBORO ROAD
FRANKLIN, TN 37064
615-599-7347

CERTIFICATE OF ACCURACY
I hereby certify that the plan shown and described herein is a true and correct survey to the accuracy required by the Williamson County, Tennessee Regional Planning Commission and that the monuments have been or will be placed as shown hereon, to the specifications of the Subdivision Regulations as approved by the County Engineer.
DATE: 9-23-2020
Professional Land Surveyor

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS
I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED LOTS 1 & 2, ROBERT T. WILSON PROPERTY, HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 5.5 OF WILLIAMSON COUNTY SUBDIVISION REGULATIONS HAVE BEEN MET.
DATE: 9/23/20
WATER SYSTEM: _____ NAME: _____ AGENCY OF APPROVING AGENT: _____ DATE: 9/23/20

ATTACHMENT 42-2



Legend

- Parcels
- Notes
- Miscellaneous
- Easement
- Exemptions
- Conflicts
- Lines
- Corporate Limits
- BRENTWOOD
- FAIRVIEW
- FRANKLIN
- NOLENSVILLE
- SPRING HILL
- THOMPSONS STATION
- Parks
- Railroads
- Centerlines
- <all other values>
- INTERSTATE
- ACCESS
- LOCAL STREETS
- MAJOR ARTERIAL
- MAJOR COLLECTOR
- MINOR ARTERIAL
- MINOR COLLECTOR
- NO NAME

1: 5,418



0.2 0 0.09 0.2 Miles

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
© Latitude Geographics Group Ltd.

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

ITEM 43

**FINAL PLAT REVIEW FOR THE MILL AT BOND SPRINGS, SECTION 2,
CONTAINING 29 LOTS ON 57.88 ACRES LOCATED OFF BETHESDA ROAD IN THE
2ND VOTING DISTRICT (1-2020-429)**

Area	57.88 acres
Lots	29 lots
Zoning	Rural Development-1 (RD-1)
Water	HB & TS Utility District
Sewer	Individual On-site Septic
Development Option	Major Traditional Subdivision
Chapter 1101 Status	Rural

File Number (1-2020-429)

The applicant is requesting Final Plat approval of the second Section of the development, which contains twenty-nine (29) lots and twenty (20) acres of Open Space. At the time of this writing, Staff's comments have not adequately been addressed; accordingly, Staff recommends deferral until the November 2020 meeting in order to allow additional time for the applicant to address Staff's comments.

ITEM 44

ESTABLISHMENT OF A PERFORMANCE BOND FOR LANDSCAPING IMPROVEMENTS FOR NEW RIVER FELLOWSHIP, ON 5.12 ACRES LOCATED OFF LEWISBURG PIKE IN THE 2ND VOTING DISTRICT (5-2020-015)

Attachment 44-1	Section 16.07: Performance Guarantees
Zoning	Municipal Growth Area-1 (MGA-1)
Chapter 1101 Status	City of Franklin Urban Growth Boundary (UGB)
Map and Parcel	089---02100
File Number	(5-2020-015)

A Site Plan for this use is under review by Staff. However, due to the cost of the required landscaping improvements and pursuant to Section 16.07 of the Zoning Ordinance, a Performance Bond for landscaping improvements must be established by the Planning Commission prior to final site plan approval by Staff.

Staff recommends the establishment of a Performance Bond for landscaping improvements in the amount of \$20,750.

ATTACHMENT 44-1

Section 16.07: Performance Guarantees

A. PERFORMANCE AGREEMENT

The Planning Commission may allow an applicant to delay the installation of certain on-site and off-site infrastructure or improvements through the execution of a Performance Agreement with supporting surety, in a form and manner approved by the County Attorney and in accordance with the requirements of this Section.

- (1) The applicant shall execute a performance agreement and post the supporting surety within 60 days of approval of a Site Plan by the Planning Commission. Failure to execute the performance agreement or post the surety within 60 days will result in expiration of the approval of the Site Plan.
- (2) The Performance Agreement shall be in the amount of 120 percent of the actual estimated cost of the infrastructure or improvements as determined by the Highway Superintendent, County Engineer or Planning Director.
- (3) The applicant shall submit a letter to the Planning Department in which he agrees to have a registered professional engineer or landscape architect, depending on the type of improvements, involved in the construction phase of the project for the purpose of monitoring construction in order to ensure conformity with approved plans and specifications.
- (4) The period within which required improvements shall be completed shall not exceed one year from the date the Performance Agreement is signed; however, extensions and reductions may be approved by the Planning Commission in accordance with this Section.
- (5) The Performance Agreement shall name the Planning Commission as obligee and shall be satisfactory to the County Attorney as to form, sufficiency, and manner of execution. The Performance Agreement shall remain in force in its full face amount until improvements are completed and accepted, when applicable, by the County and its appropriate departments or utility district, as applicable. The Performance Agreement may be reduced as provided in Section 16.07:(C): Reduction or Release of Performance Agreement and Surety.

B. SURETY REQUIRED

- (1) A Performance Agreement authorized by the Planning Commission shall be secured by either an irrevocable standby letter of credit with an automatically renewable feature, (often termed as an "evergreen" letter of credit), or a certified check from an approved financial institution. The beneficiary of the surety shall be the Williamson County Regional Planning Commission, the Williamson County Highway Department, or the applicable utility district.
- (2) The financial institution shall permit the letter of credit to be presented for collection at a place physically located within Williamson County, Tennessee.

C. REDUCTION OR RELEASE OF PERFORMANCE AGREEMENT AND SURETY

- (1) Except for maintenance obligations, which are governed by Section 16.07(D), Maintenance Obligations, the Performance Agreement may be reduced one time by the Planning Commission as provided in Section 16.07:(A): Performance Agreement.
- (2) A request for reduction of the surety or release of the Performance Agreement shall be submitted to the Community Development Department. The Planning Commission may release the Performance Agreement, extend the Performance Agreement, or reduce a surety after consultation with the applicable utility district or County departments. In the event the request for release or reduction occurs prior to the expiration of the last term authorized by the Planning Commission, an early review fee, as established in the Administrative Manual, will be assessed to the applicant at the time of the request.
- (3) Performance Agreements may be extended as determined by the appropriate utility districts or County departments, but such extensions shall not exceed one year. Extensions of Performance Agreements may necessitate an increase in the Performance amount.
- (4) If the applicant requests extension of any Performance Agreement because of inadequate completion, then an extension fee, as established in the Administrative Manual, shall be assessed to the applicant. If the County requests the extension because it would be in the best interest of the County, then this extension fee shall be waived.
- (5) Except for maintenance obligations, which are governed by Section 16.07:(D): Maintenance Obligations, a request for reduction of the surety or release of the Performance Agreement shall not be granted until all of the following have been completed:
 - a. The applicant has presented a letter to the Community Development Department requesting reduction of the surety, including the percentage amount of completion of the improvement, or release of the Performance Agreement. Such requests shall include a written statement from the engineer or landscape architect employed by the applicant stating that the improvements have been installed in accordance with the approved plans and specifications, or in the case of a request for reduction, specifying the percentage of completion of the improvement. Once such a written statement from the engineer or landscape architect has been received, an inspection by the applicable County department shall be performed at no cost to the applicant.
 - b. The appropriate County department has submitted a statement to the Community Development Department indicating that the required public improvements and required landscaping have been inspected and satisfactorily completed in accordance with the approved plans, or in the case of a request for reduction, specifying the status or percentage of completion of the improvement.
 - c. Assurances have been obtained through affidavits, releases, or waivers of liens from all contractors and subcontractors of the filing of public disclaimers, that liens will not be filed against the dedicated land or improvements after they are accepted by the Community Development Department or appropriate County department.
- (6) At the time that an extension, reduction or release of a Performance Agreement is approved, the Community Development Department or other appropriate County department, whichever is applicable, shall establish the expiration date of the maintenance obligation or Performance Agreement (as applicable). However, the

maintenance obligation or Performance Agreement shall not have an expiration date of greater than one year.

- (7) No Performance Agreement for public improvements or applicable private infrastructure shall be reduced to less than 20 percent of its full-face amount, irrespective of the estimated cost of completing the improvements. An amount equal to 20 percent of the original amount may be added to the reduced amount for possible future inflation cost.
- (8) Performance Agreements for landscaping shall not be reduced to less than 75 percent of its full-face amount, irrespective of the estimated cost of completing the improvements.
- (9) The applicant's costs incurred in the connection with a request for the extension or reduction of the surety or the release of a Performance Agreement and surety (that is, landscape architect or engineering inspections fees, legal fees, and so forth) shall be borne by the applicant, regardless of whether his request is ultimately granted.

D. MAINTENANCE OBLIGATIONS

Upon completion of the Performance period, the applicant shall be required to maintain the completed improvements and required landscape to ensure against defects in workmanship and materials. Maintenance obligations shall be subject to the terms of the Performance Agreement and the maintenance obligations shall be applied in accordance with the following standards:

- (1) The maintenance obligation shall remain in effect for a period of two years or until final release of the maintenance obligation by the Planning Commission or other appropriate County departments, whichever period is longer.
- (2) Such maintenance obligation shall be in an amount satisfactory to the Planning Commission or other appropriate County departments, whichever is applicable. However, the maintenance obligation for landscaping improvements shall not be less than 25 percent of the original full-face amount or \$3,000.00, whichever is greater, and the maintenance obligation for all other improvements shall not be less than 10 percent of the original full-face amount or \$2,500.00, whichever is greater.
- (3) Upon request of the applicant, or automatically after a period of two years from the release of the Performance Agreement, whichever is greater, the Planning Commission shall consider the release of the maintenance obligation.

E. FAILURE TO COMPLETE IMPROVEMENTS

- (1) Where a Performance Agreement has been executed with a supporting surety posted and required improvements have not been installed within the terms of such Performance Agreement the Planning Commission may thereupon declare the Agreement to be in default and require that all the improvements be installed regardless of the extent of the building development at the time the Agreement is declared to be in default.
- (2) Further, the Planning Director shall notify the Building Codes Director that the Performance Agreement for the subject site is in default and request that no additional building permits be issued in the development. The Planning Commission shall also issue a notice that the subject site is in default. Said notice shall be recorded in the Registers Office of Williamson County, Tennessee. In the event the subject site is thereafter found not to be in default for any reason, prompt notice shall be given to the

Building Codes Director and recorded in the Registers Office of Williamson County, Tennessee.

- (3) In the event the Performance Agreement or supporting surety is not renewed or extended as approved by the Planning Commission within 14 days of the expiration date, or if the new documentation is not in accordance with this Section, then the Performance Agreement and supporting surety may be declared in default and the Secretary of the Planning Commission may issue a call or draw letter. Where the surety is provided by a financial institution, the call or draw letter shall be presented to said financial institution for payment. Otherwise, the call or draw letter shall be presented to the applicant. Funds "called" pursuant to the Performance Agreement and supporting surety shall be placed in escrow in the County treasury. A fee will be assessed for each letter of credit or surety "called" in accordance with this Section, as established in the Administrative Manual.